



Meeting of the Village of Buffalo Grove Planning and Zoning Commission

Regular Meeting
May 15, 2024 at 7:30 PM

Fifty Raupp Blvd
Buffalo Grove, IL 60089-2100
Phone: 847-459-2500

I. Call to Order

II. Public Hearings/Items For Consideration

Public Comment is limited to items that are not on the regular agenda. In accordance with Section 2.02.070 of the Municipal Code, discussion on questions from the audience will be limited to 5 minutes and should be limited to concerns or comments regarding issues that are relevant to Planning and Zoning Commission business. All members of the public addressing the Planning and Zoning Commission shall maintain proper decorum and refrain from making disrespectful remarks or comments relating to individuals. Speakers shall use every attempt to not be repetitive of points that have been made by others. The Planning and Zoning Commission may refer any matter of public comment to the Village Manager, Village staff or an appropriate agency for review.

1. Consideration of a Petition for a Special Use to Allow a Home Daycare at 4 Brucewood Ct (Trustee Weidenfeld) (Staff Contact: Kelly Purvis)
2. Consider a Zoning Variation for the Purpose of Constructing a Three-Seasons Room that Would Encroach into the Required 40-Foot Rear Yard Setback at 2280 Apple Hill Ct S. (Trustee Weidenfeld) (Staff Contact: Andrew Binder)
3. Consider a Special Use for a Health Club in the Industrial District at 1637-1639 Barclay Blvd (Trustee Weidenfeld) (Staff Contact: Andrew Binder)

III. Regular Meeting

A. Other Matters for Discussion

B. Approval of Minutes

1. Planning and Zoning Commission - Regular Meeting - May 1, 2024 7:30 PM

C. Chairman's Report

D. Committee and Liaison Reports

E. Staff Report/Future Agenda Schedule

F. Public Comments and Questions

Public Comment is limited to items that are not on the regular agenda. In accordance with Section 2.02.070 of the Municipal Code, discussion on questions from the audience will be limited to 5 minutes and should be limited to concerns or comments regarding issues that are relevant to Planning and Zoning Commission business. All members of the public addressing the Planning and Zoning Commission shall maintain proper decorum and refrain from making disrespectful remarks or comments relating to individuals. Speakers shall use every attempt to not be repetitive of points that have been made by others. The Planning and Zoning Commission may refer any matter of public comment to the Village Manager, Village staff or an appropriate agency for review.

IV. Adjournment

The Planning and Zoning Commission will make every effort to accommodate all items on the agenda by 10:30 p.m. The Board, does, however, reserve the right to defer consideration of matters to another meeting should the discussion run past 10:30 p.m.

The Village of Buffalo Grove, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities, contact the ADA Coordinator at 459-2525 to allow the Village to make reasonable accommodations for those persons.



Action Item : Consideration of a Petition for a Special Use to Allow a Home Daycare at 4 Brucewood Ct

Recommendation of Action

Staff recommends approval of a Special Use Ordinance for a Child Daycare Home for up to 8 children at any one time, (including natural born or adopted children), and no more than 12 children in a 24 hour day subject to the conditions in the attached staff report.

The Planning & Zoning Commission (PZC) shall open the public hearing and take public testimony and the PZC shall then make a recommendation to the Village Board.

The Petitioner, Titilope Afolabi would like to open a child daycare home at 4 Brucewood Court. The subject property is her primary residence. The child daycare home would operate from 6:30a.m. to 6:00p.m. and would provide care for children from 6 weeks to 12 years of age.

ATTACHMENTS:

- 4 Brucewood Ct - Staff Report (PDF)
- Plan Set (PDF)
- Home Daycare Locations Map - 24-0408 (PDF)
- Public Comments - Combined & Redacted (PDF)

Trustee Liaison
Weidenfeld

Staff Contact
Kelly Purvis, Community Development

Wednesday, May 15, 2024

**VILLAGE OF BUFFALO GROVE
PLANNING & ZONING COMMISSION
STAFF REPORT**

MEETING DATE:	April 17, 2024 <i>(Cont. on May 15, 2024)</i>
SUBJECT PROPERTY LOCATION:	4 Brucewood Court
PETITIONER:	Titilope Afolabi
PREPARED BY:	Kelly Purvis, Deputy Director of Community Development
REQUEST:	Special Use for a child daycare home within a Residential Zoning District.
EXSITING LAND USE AND ZONING:	The property is improved with a single-family home and is zoned R-3A Residential.
COMPREHENSIVE PLAN:	The approved Village Comprehensive Plan calls for this property to be residential

BACKGROUND

The Petitioner, Titilope Afolabi would like to open a child daycare home at 4 Brucewood Court. The subject property is her primary residence. The child daycare home would operate from 6:30a.m. to 6:00p.m. and would provide care for children from 6 weeks to 12 years of age. The petitioner has received an approved license from IL DCFS which allows up to 12 children (including two children of her own) to be cared for within the home with the help of an approved assistant. The Village Code is more restrictive and allows up to 8 children in a home at any one time (including their own children) and no more than 12 children within a 24-hour period of time.

PROCESS

Pursuant to the Zoning Ordinance, Child Day Care Homes are required to address specific standards. The following is a current status of the standards (List response in **Bold**):

1. A special use for a child day care home shall meet the Special Use requirements of Section 17.28.040. **The conditions are listed below and shall be addressed during the public hearing.**
2. Verification that the day care provider is a full-time resident of the home. **The petitioner has provided proof of residency and ownership.**
3. Verification that the home is licensed by the Illinois Department of Children and Family Services, and that applicable requirements of the Illinois Department of Public Health will be met. **The petitioner has provided a copy of the State issued license.**
4. Inspection by the Village Department of Building and Zoning, Health Officer and Fire Department to determine that all life-safety, health and other applicable codes will be met. **An inspection was conducted on April 1, 2024. The home did not pass the initial inspection. Follow up inspections by Building and Fire were conducted on April 15, 2024, where it was noted all issues had been resolved. A follow-up inspection was conducted on May 7, 2024, by the Village Health Inspector and was approved.**

5. That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare. **The petitioners have agreed to adhere to this condition during their operation.**
6. The following standards shall be met:
 - a. Provision of childcare shall be limited each day to the hours of 6:00 a.m. to 8:00 p.m. Outdoor play shall not be allowed before 8:00 a.m. **The petitioners have agreed to adhere to this condition during their operation.**
 - b. Adequate space shall be provided on the driveway of the property for parking while children are being dropped off or picked up at the home. **The children will be dropped off no earlier than 6:30 am and picked up prior to 6:00 pm. The petitioner has included a drop-off and pick-up plan that will be shared with their clients. Their driveway can accommodate up to 6 cars at a time.**
 - c. Traffic congestion or safety hazards shall not be created in the adjacent neighborhood. **The petitioners have agreed to adhere to this condition during their operation.**
 - d. A play area shall be provided in the rear yard of the property. Said area shall be enclosed by a fence at least four feet in height to ensure the safety of the children. The fenced play area shall be secured with self-closing and self-latching gate(s) as approved by the Village. Said play area shall be screened from adjacent properties with fencing or landscaping . **The petitioners have stated that all outdoor play will be occurring in the rear yard, which is surrounded by a continuous 4-foot fence.**
 - e. The day care activities shall not create undue noise or other nuisances for adjacent properties. There shall be no outdoor sound amplification devices which produce distinctly and loudly audible sounds beyond the boundary of the property from which the sound originates. **The petitioners have agreed to adhere to this condition during their operation.**
 - f. Employees who are not residents of the day care home may be employed by the day care provider, if it is determined by the Planning & Zoning Commission that this would not be detrimental to the neighborhood. Parking shall be provided on the property for any employee driving to the home. **The petitioners have agreed to adhere to this condition during their operation.**
 - g. An approved day care home shall be subject to periodic inspection by the Village in accordance with Village procedures for inspections concerning health, life-safety and other applicable regulations. **The petitioners have agreed to adhere to this condition during their operation.**
 - h. The Planning & Zoning Commission and Corporate Authorities may impose conditions and restrictions as may be necessary or appropriate to comply with the foregoing criteria and standards. The foregoing standards may be modified as deemed reasonable in specific cases. **Following the testimony of the petitioner and other interested parties, the PZC shall determine if any additional conditions are necessary.**
 - i. The Planning & Zoning Commission shall consider the number and location of other child day care homes so as to avoid congestion and other negative impacts. **There are a total of 6 licensed home daycare providers in the Village. None of the other daycare homes are located in the adjacent areas.**

In addition to the above standards, Childcare Special Uses are valid for two years at which point they may be administratively extended or referred back to the Planning & Zoning Commission for review based upon performance.

Special Use Criteria

Pursuant to the Zoning Ordinance, all special uses shall meet the following criteria:

1. The special use will serve the public convenience at the location of the subject property; or the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with said special use, the size of the subject property in relation to such special use, and the location of the site with respect to streets giving access to it shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located;
3. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations with the neighborhood;
4. The nature, location and size of the buildings or structures involved with the establishment of the special use will not impede, substantially hinder or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;
5. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;
6. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance and minimize traffic congestion in the public streets.

The petitioner's response to the standards is attached.

PUBLIC COMMENTS

Pursuant to Village Code, property owners within 250 feet of the subject property were notified and a public hearing sign was posted on the subject property within the required timeframe. As of the date of this report, the Village has received two calls from neighbors who received the public notice by mail. The two neighbors that reached out expressed concerns about the impact the daycare would have on the neighborhood including more noise and traffic. Email correspondence from the same residents has been included in the packet for the PZC's information.

STAFF RECOMMENDATION

Staff recommends approval of a Special Use Ordinance for a Child Daycare Home for up to 8 children at any one time, (including natural born or adopted children), and no more than 12 children in a 24-hour day subject to the following conditions:

1. Petitioner shall comply with the standards set forth in Section 17.12.141, Section 17.28.040 and Section 17.28.060 of the Village Zoning Ordinance.
2. The special use shall be in effect for a period of two (2) years from the date of this Ordinance. The Petitioner is required to apply to the Village for re-authorization of the special use pursuant to Section 17.28.060.C of the Village Zoning Ordinance.
3. The petitioner shall maintain their DCFS license. A copy of the DCFS license shall be provided to the Village annually prior to the issuance of a business license.

4. The special use shall be automatically revoked if the Petitioner fails, for any reason, to have a valid license issued by the Illinois Department of Children and Family Services (IL DCFS).
5. The Petitioner shall obtain a Village business license prior to operation of the child daycare home and shall renew the business license annually.
6. The special use does not authorize any use in violation of any covenants running with the Property.
7. No person who has been convicted of a felony or misdemeanor involving violence against a person shall be permitted to reside in the day care home at any time, on a temporary or permanent basis, or otherwise be allowed to be present in the day care home at any time when children are present. The petitioner must agree to permit the Village of Buffalo Grove to conduct, or cause to be conducted, a criminal background check of every person residing in the day care home.
8. Petitioner shall maintain the Property in full compliance with Village property maintenance standards at all times, as determined by the Village in its sole discretion.
9. This special use is granted to Titilope Afolabi. Said special use does not run with the Property and is not granted to any business entity. Said special use is not transferable to another person or entity, and may not be used by any other person or entity.
10. Prior to the issuance of the Village business license, the petitioner shall address any outstanding health code violations noted in the Village inspection report.

ACTION REQUESTED

The Planning & Zoning Commission (PZC) shall open the public hearing and take public testimony and the PZC shall then make a recommendation to the Village Board.

ATTACHMENTS

- Plan Set
- Map of Home Daycare Locations
- Public Comments (received by email)

DamiDara Daycare

General Business Description:

DamiDara Daycare is a nurturing and supportive child care home committed to providing a safe and stimulating environment for children to learn, grow, and thrive. Our daycare offers a comprehensive early childhood education program tailored to meet the individual needs and developmental milestones of each child. We prioritize creating a warm and welcoming atmosphere where children feel valued, respected, and encouraged to explore their interests and abilities.

Hours of Operation:

We operate Monday through Friday from 6:30 am to 6:00 pm, accommodating the diverse scheduling needs of working families. Our extended hours ensure that parents have access to quality child care services that align with their busy lifestyles.

Total Number of Students/Employees:

DamiDara Daycare has a total enrollment capacity of 12 children, approved by the Department of Children and Family Services (DCFS). Our dedicated team of educators consists of myself and my Assistant, both approved by the State, who are passionate about early childhood education and committed to fostering the social, emotional, and cognitive development of our students.

Outdoor Space Provided:

We are proud to offer a spacious and secure outdoor play area where children can engage in active play, explore nature, and develop gross motor skills. Our outdoor space is equipped with age-appropriate play equipment, shaded areas for rest and relaxation, and opportunities for sensory exploration.

At DamiDara Daycare, we strive to create a supportive and enriching environment that empowers children to reach their full potential. Through our holistic approach to early childhood education, we aim to instill a love for learning, foster independence and self-confidence, and prepare children for future academic success. We welcome families from all backgrounds and are dedicated to building strong partnerships with parents to support their child's development every step of the way.

Traffic Plan for DamiDara Daycare:

Drop-off and Pick-up Times:

- Drop-off: 6:30 am - 8:50am
- Pick-up: 3:30 pm - 6:00 pm

Capacity Management:

- The drop-off/pick-up area will accommodate up to 6 cars at a time.
- Once the capacity is reached, vehicles will be directed to queue along the curb until space becomes available.

Pedestrian Safety:

- Sidewalks will be kept clear at all times to ensure the safety of pedestrians.
- No parking or stopping will be permitted on the sidewalk.
- Staff members will be present to assist children crossing the drop-off/pick-up area safely.

Communication:

- Parents will be informed about the traffic plan and encouraged to adhere to the designated drop-off/pick-up times.
- Any changes or updates to the traffic plan will be communicated promptly to parents and staff members.

By implementing this traffic plan, we aim to ensure the smooth and safe flow of traffic during peak hours while prioritizing the safety of children, the neighbors, and pedestrians at DamiDara Daycare.

DamiDara Daycare

4 Brucewood CT, Buffalo Grove IL 60089. (708-955-0135)

2024 Parent Contract

I understand and agree to comply with the following policies.

PAYMENT:

Tuition payment is due on the Friday prior to the beginning of the school week.

Cash and checks are accepted Zelle cash app.

There's a \$10 late fee per day for late tuitions payments.

There's a \$25 service fee for all return checks.

Tuition WILL NOT be credited for the days a child is absent for any reason. this includes vacation illness doctor's appointment or other.

CLOSINGS:

For the 2024 calendar year daycare will be closed on the following weeks and legal holidays

(when falls on Monday through Friday)

Attachment: Plan Set (4 Brucewood Court - Home Daycare Special Use)

Monday January 1: New Year's Day

February 20th : President's day

Friday march 29th : Good Friday

Monday May 27th Memorial Day

Week of Monday July 22nd - Friday July 26th

Thursday July 4th -Fourth of July

Monday September 2nd -Labor Day

Monday October 14th -Friday 18th -Columbus Day & Week Off

Thursday & Friday Nov 28th and 29th -Thanksgiving

Wednesday Dec 25th & Thursday 26th -Christmas Holiday

In the Event of Weather emergency, parents will be notified that daycare is closed. TUITION REMAINS THE SAME EACH WEEK, INCLUDING THOSE THAT CONTAIN A CLOSING

ILLNESS:

Please review the illness symptoms and guidelines posted in the daycare entry hallway. If your child falls into a qualifying category, please DO NOT bring them to daycare.

LATE PICKUP:

An addition fee of \$1.00 per minutes will be added to your next tuition for any late pickups:

6:00 PM – 6.:05 PM = \$5

6:05PM – 6:10 PM = \$10 and so on

Parent or Guardian _____

Date: _____

Dami Dara's Childcare

BEHAVIOR GUIDANCE POLICY-PROCEDURE & TRANSITION PLAN**Behavior Guidance Policy**

We believe that all domains of learning are supported during play and through strong, positive, interactions with adults. Promoting healthy social and emotional development, including self-regulation, is one of the fundamental responsibilities of our program. The early childhood period is a critical time for children to learn to regulate and manage their thoughts, feelings, attention, impulses, and behavior. They are learning how to get along with others and how to be friends. Children are not born with these skills. Teachers and caregivers must teach social-emotional skills just as they teach washing hands or learning colors and shapes. We know that when children are given the opportunities and support to develop (learn, practice, discuss, etc.), self-regulation and other social and emotional skills, it gives them the foundation needed for academic and life success.

All our staff will be trained on the *"Steps to Prevent Suspension & Expulsions"* and use the *"Child Behavior Log"* to document a child's challenging behavior(s). All staff will receive the following trainings within the first 2 years of employment: Conscious Discipline, Trauma-Informed Practice and Pyramid Model together with other social emotional trainings to support them in providing developmentally appropriate support to the children in their classroom. In addition, we will continue to support staff in whatever capacity is needed. We understand that self-regulation and social-emotional skills take time to develop, and that change cannot be expected to happen overnight but requires consistency and support.

We will take the following steps to support a child's development:

Our Environment

- Providing children with materials and engaging them in activities that are appropriate for their age/developmental level and respectful to them as individuals.
- Developing schedules to meet the needs of young children and avoid long periods of wait time without activity.
- Being flexible in our schedule and follow the interests and needs of the children's cognitive, emotional, physical, and biological needs.
- Regularly observing the environment and the children as they interact in it to ensure it promotes healthy social interactions (ex. Having multiples of the same toy)
- Encouraging our teachers to develop a relationship with each child.

Behavior Guidance Policy - Procedures & Transition Plan

- Encouraging peer relationships by creating social opportunities and working with children to resolve conflict.
- Collaborating with the infant/early childhood mental health consultant to support individual children and the classroom as a whole.
- Always speaking to children in a calm tone, especially during redirections.
- Putting words to children's emotions (ex. "Owen, I can tell you were mad when James took your block.")
- Using social stories with young children to teach healthy social skills.

Our Families

- Communicating regularly with staff to ensure consistency in guidance between home and school.
- Partnering with caregivers to allow us time to work with all children, including those needing higher levels of support.
- Understanding and acknowledging that we do not expel children because they are learning these skills. We strive to serve individual needs while ensuring the safety of young children.
- Collaborating with infant/early childhood mental health consultants, specialists, & therapists to help give a child the best foundation for academic and life success.

Our Children

- Supporting them in learning how to handle conflict in a healthy manner (using appropriate words and actions)
- Developing confidence and self-efficacy
- Developing skills to help them manage their behavior and emotions.

IF CHALLENGING BEHAVIORS EMERGE:

The Steps to Prevent Suspension and Expulsion document should be used as a guide to identify possible strategies and resources to support your staff and the child.

Behavior Guidance Policy - Procedures & Transition Plan

If the child is under the age of three:

If the child is still struggling after collaborating with an infant/early childhood mental health consultant, the child's caregiver and pediatrician (if required) and identifying new resources and implementing classroom strategies to support the child, then with the consent of the caregiver, the child will be referred to Child & Family Connections (CFC) to receive developmental assessments.

We will provide the CFC staff with copies of the completed Child Behavior Logs and any other documentation to further support the child in efforts to provide additional support. We will also provide the caregiver with resources and information on finding a special education advocate to further support them. We will work with the CFC staff to coordinate and incorporate any services and interventions needed.

If the child is age three to five:

If the child is still struggling after collaborating with an infant/early childhood mental health consultant, the child's caregiver and pediatrician (if required) and implementing classroom strategies to support the child with the consent of the caregiver, the child will be referred to the local public school. A referral letter will be sent to the Early Childhood Special Education department of the local school district where the child's family resides to request further developmental assessments. Our staff will work with the local school district's personnel and family of the child to set up observation dates, if requested.

We will provide the school with copies of the Child Behavior Logs and any other documentation in the child's file to further support the child in the school's efforts to provide additional support. The caregiver will also be provided with resources and information on finding a special education advocate to further support them. We will work with the school district staff to coordinate and incorporate any services and interventions needed.

TRANSITIONING A CHILD

Our overall goal is to keep a child successfully in our program. Prior to transitioning a child to other services, our staff will implement all possible classroom strategies to support the child. *The Steps to Prevent Suspension and Expulsion* document will be used as a guide to identify possible strategies and resources. Then, if we have exhausted all available resources and have come to the decision that

keeping the child in the program is not in the best interest of the child or the child's peers, our staff will work with the family to transition the child out of the program. (A successful transition is when a child has moved into another program that better fits them and their family's needs.)

Behavior Guidance Policy - Procedures & Transition Plan

Steps to Transitioning

Our staff will work with the family to find a more appropriate setting by making referrals to other programs and if possible, will work with the new provider to help plan a smooth transition. The quality of the planned transition is based on the understanding that we have done everything we can to assist the family.

We will connect information from the Behavior Support Plan to the Transition Plan by including Information on Initial and ongoing child behaviors and communication with the family. It is important to remember that a Behavior Support Plan must be implemented and completed (and revised if necessary) before a Transition Plan has begun. We will also have a discussion with the family about a potential transition prior to implementation of a Transition Plan.

Other rules associated with this Guidance and Discipline Policy:

1. All documentation regarding a child's behavior is to be kept in the child's confidential file.
2. The transition plan must be individualized, written and culturally and linguistically appropriate.
3. The guidance and discipline policy shall be provided to parents. Staff shall sign that they have read and understand this Behavior Guidance policy upon employment and parents shall sign that they have received a copy of the policy upon enrollment.

Possible Language for your Parent/Caregiver Parent Handbook

"Thank you for choosing to allow our staff to support your child's development. We are committed to each child's social emotional development; therefore, we do not dismiss children from our program because of regular concerns with behavior. Behavior concerns tell us that children need more time, support and practice to develop skills. When serious concerns arise, we will partner with caregivers and professionals who specialize in supporting children's social and emotional health. On rare occasions, we may work with families to seek the best care for their child if all parties agree that our program can no longer meet the needs of an individual child and when the behavior of a child rises to the level of self-harm or bodily harm of staff or other children."

RESOURCES: *The Steps to Prevent Suspension and Expulsions* and *Sample Child Behavior Log* can be downloaded from the Illinois Child Care in Crisis Facebook page under the "Files" tab.) As well as the *Employee Receipt of Guidance Policy* and the *Caregiver Certification of Receipt of Guidance Policy*.

Mrs Titilopo Afolabi

4 Brucewood Ct
Buffalo Grove IL, 6009

Fire Plan

1) Forewarn the children that a fire drill is about to happen to ease their worries. Engage the alarm and tell them that this means there is a fire drill when they hear it.

2) Explain to the children that when they hear the fire alarm or noise, they quickly get up and leave everything behind. Point out all the exits to the children beforehand.

Our 1st floor: front door Exit up the stairs. Grab the attendance list on the way out. Tell the children to follow their daycare provider outside to the quickest exit and file in line behind the adult in pairs of two. Basement Exit through the Basement window to the back yard, to the back fence. Have a specific spot the children should meet outside which is by our Driveway, front yard, when its 1" exit. 2" exit run to the right corner of the back yard, have a specific spot the children should meet outside when there is a fire drill and explain to them that they have to go to this place.

If there are young children unable to walk, you will have to grab them first in a fire drill and make sure they get out.

If it's the front door exit I would go to the OVI family for help. If it's through Basement I'll be asking my Neighbor Antao family for help, on the left.

Shut the door behind and after you are sure everyone exited. Make a quick head count to ensure everyone has made it out safely. Call 911 !!!

Practice the fire drill routinely so the children know exactly what to do in case of an actual fire.

Titilopo Afolabi

This emergency action plan includes the following information for

Title
Basic Information.....
Emergency Contacts.....
Evacuation Procedures.....
Shelter-in-Place Procedures.....
Parent Reunification Procedures.....
Child/Parent Information Sheets.....

Dami Dara Day Care Home: Emergency Action Plan.

Evacuation in case of the need to evacuate our site, the following procedures will be followed:

EVACUATION	Children are cared for entire raised ranch home.
ROUTES/EXITS:	Exits (all windows and doors are checked regularly to ensure opening): Kitchen: Sliding doors Dining room/ Family room: Sliding doors. 1 st floor: up the stair's front door and the 2 nd Exit on the 1 st floor through the basement window.

EVACUATION	Children will be evacuated together using a portable play yard with wheels.
INFANTS/TODDLERS	The Site owns two strollers each of which remain in the backyard. In case of the need to evacuate through the windows, children will be placed out window first using any item available to place them n the ground.

NOTIFICATION	Once all the children are safely evacuated: 911: Parents will be notified of the evacuation.
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EMERGENCY KITS/INFORMATION:	Emergency kits will be taken when possible, and cell phone.
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EVACUATION SITES:	If it's the front door exit I would go to the OVI family for help. If its through the Basement window, Ill be asking my neighbor Antao family for help on the left.
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TRANSPORTATION TO EVACUATION LOCATION:	Children will be pushed on portable play yards or strollers to the neighborhood evacuation sites
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Practice the fire drill routinely so the children know exactly what to do in case of an actual fire.

Dami Dara's Home Day Care

Shelter in place/Tornado plan

In case of the need to shelter in place due to tornado or notification from authorities, the following procedures will be followed:

1. Children will be brought to the 1st floor hallway that goes out to the garage. It is away from windows and doors.
2. A quick attendance will be taken to make sure we have all children.
3. Children will sit on the floor quietly with hands covering their heads.
4. Emergency kits containing first aid, food/water/formula, emergency contact sheets with parent phone numbers will be brought to the hallway.
5. I will bring my cell phone as well.
6. Once the immediate threat has been lifted, children will be released back into the main daycare area unless damage to the home has happened.
7. If damage to home is evident, children will be brought next door to the neighbor's home (either to the left to Rob's residence or right to the Spigel residence depending upon assessed damage).
8. Parents will be notified by phone of reunification location to reunite with their children as soon as it is safe.
9. Children will only be released to contacts listed on the child's form with proper identification.

Tornado drills will be practiced monthly so the children know exactly what to do in case of an actual tornado.

Evacuation due to fire or other threat

In case of the need to evacuate the home due to fire or damage to the home, the following procedures will be followed:

1. There are several exits' children can be evacuated by: doors in kitchen, dining room/family room doors, front door, basement window, and using other windows as a last resort.
2. For fire, Children leave through either the front door or through the basement window depending on where the fire is located.
3. Older children can walk holding hands and children under 30 month of age who cannot walk will be placed in a portable play yard with wheels or one of the two strollers which are in the backyard. Children with disabilities will either be placed in a stroller. or their hand will be held by an adult to make sure they can be evacuated safely and stay with the group.
4. A quick attendance will be taken to make sure we have all the children.
5. Emergency kits containing first aid, food/water/formula, emergency contact sheets with parent phone numbers will be taken with.
6. I will bring my cell phone as well.
7. Children will be brought next door to the neighbor's home (either to the right to the Antao residence or to the left to OVI residence) for safety.

8. Parents will be notified by phone of reunification location to reunite with their children as soon as it is safe.

9. Children will only be released to contacts listed on the child's form with proper identification.

Fire drills will be practiced monthly so the children know exactly what to do in case of an actual fire.

Shelter in place: in case of the need to stay put due to tornado or notification from authorities, the following procedures will be followed.

LOCATION: Our 1st floor hallway that goes out to the garage. Away from windows
And doors. Sit down and place your hand over your head.

EMERGENCY SUPPLIES Emergency kits with food (formula), water.
First aid.
Cell phone - 708-955-0135
 - 630-506-1344
Emergency contact sheets.
Supplies for sealing the hallway on first floor.

Notification: Parents/guardians will be notified once the immediate threat has Passed.

Parent reunification; In case of the need to evacuate or when parents/guardians are unable to get to children, the following procedures will be followed to reunite children with parents/guardians(or other contacts designated by parent/guardian) as soon as it is safe.

Notification Contact information for Dami Dara's Day Care Home, cell phone and home phone.
Parent contact numbers are:
1)stored
2)kept in emergency kits

Release: Children will only be released to contacts listed on the child's form with proper identification.

Subject: Hazard Projection Plan

Doors have safety handles or locks.

Laundry Room-locked

Stairs-gate blocked.

Cabinets: no hazardous items in cabinets

Outlets: have child safety covers

All smoke alarms are changed yearly.

Approved fire door used on garage door exit.

Fire/Tornado drills practiced regularly.

No children under 30 months of age allowed in bathroom alone/unassisted. Children under the age of 5 are not allowed to close the bathroom door completely.

Stairs: I have one set of stairs that leads to the basement. The stair is gated denying access to children, not allowing them to go upstairs by themselves. All the children play, eat and sleep in the basement.

Outside play area: Children will play outside in fenced backyard; all children will be supervised by an adult while outside. Travel to nearby parks: we will take the children to a park in the neighborhood. We will walk them safely on the sidewalk and make sure we cross the street holding hands together with an assistant.

Traffic: parents will be expected to come into the house to pick up and drop off their children.

Tools: All tools, gardening and otherwise, are locked in the shed, they are inaccessible to the children.

Medicine: is stored out of reach.

Cleaning supplies: out of the reach of the children.

Radom Testing completed at least once every three years.

NUMBER AND AGES OF CHILDREN YOU MAY CARE FOR

Name: Titilope and Michael Afolabi

Provider ID: 624764

Effective Date of License: 02/28/24-02/28/27

The age and composition provisions of your license are:

☒ **You have an approved assistant.**

With your assistant present you may care for a total of:

- 7 children under 5 years of age of which up to 5 children may be under 24 months of age;
and
3 additional children who are attending school full-time outside of the home.

Please Note: These numbers refer to children received for day care; they do not include your own children, relative children or unrelated children living in your home.

☐ **You do not have an approved assistant.**

As a caregiver alone you may care for a total of children under the age of 12 of which up to:

- children may be under the age of 5, of which up to children may be under 24 months of age; or
children under 5 years of age of which up to may be under 30 months of age.

Please Note: These numbers refer to children received for day care; they do not include your own children, relative children or unrelated children living in your home.



VILLAGE OF BUFFALO GROVE



During your testimony at the Public Hearing, you need to testify and present your case for the Special Use being requested. In doing so, you need to address the six (6) Special Use Standards listed below:

SPECIAL USE STANDARDS

1. The special use will serve the public convenience at the location of the subject property; or the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

Response: The special use at our home will be beneficial and helpful to the neighborhood by assisting busy neighborhood parents a safe and convenient daycare for their children

Just as we have been raising our own kids in our property without posing any health or safety issues to the overall wellbeing of the neighbors, The daycare special use will have no negative impact.

2. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with said special use, the size of the subject property in relation to such special use, and the location of the site with respect to streets giving access to it shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located;

Response: This Daycare use will fit well with our neighborhood which is family oriented. Considering the size of our home, driveway and the basement which the kids will be utilizing, the daycare will not contribute much to extra noises or traffic jams.

Proper coordination will be put in place for drop off and pick up of the children.

3. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations with the neighborhood;

Response: The daycare use in our home will not cause any danger to the neighborhood, this will not in any shape or form hinder the neighbors to enjoy their own properties as the kids will be well supervised even when needed to play outside at the backyard.

4. The nature, location and size of the buildings or structures involved with the establishment of the special use will not impede, substantially hinder or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;

Response: The daycare use in our home will not disturb any development of the neighborhood building or structure. Our use will continue to abide with the zoning rules and regulations.

5. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;

Response: Our use for the daycare does not require any special utilities or equipment besides the regular water, garbage, sewage, parking, etc., which we already have in place for our daily use.

6. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance and minimize traffic congestion in the public streets.

2.1.b

Response: Parking in our driveway will be utilized by the parents who are dropping off their kids. Our driveway could fit up to 6 cars at a time so plan will be put in place to avoid blocking other neighbors who will be driving in and out if their properties in our court.

VILLAGE OF BUFFALO GROVE



During your testimony at the Public Hearing, you need to testify and present your case for the Child Home Daycare Special Use being requested. In doing so, you need to address the six (6) Special Use Standards listed below:

CHILD DAY CARE HOME SPECIAL USE STANDARDS

A. Provision of child care shall be limited each day to the hours of 6:00 a.m. to 8:00 p.m. Outdoor play shall not be allowed before 8:00 a.m.

Response: In response to this provision, we will ensure that child care services are provided within the designated hours of 6:30 a.m. to 6:00 p.m. Monday through Friday. Additionally, we will adhere to the restriction on outdoor play before 8:00 a.m. to respect the peace and quiet of the surrounding neighborhood during early morning hours. This commitment reflects our dedication to operating in compliance with local regulations and fostering a harmonious relationship with the neighbors and the community.

B. Adequate space shall be provided on the driveway of the property for parking while children are being dropped off or picked up at the home.

Response: We will ensure that adequate space is available on the driveway of the property to accommodate parking while children are being dropped off or picked up at the home. This will help facilitate a smooth and safe process for families accessing our child care services, while also minimizing disruptions to traffic flow in the neighborhood. We are committed to providing a convenient and welcoming environment for all families who utilize our services.

C. Traffic congestion or safety hazards shall not be created in the adjacent neighborhood.

Response: In response to this requirement, we are committed to ensuring that our operations do not contribute to traffic congestion or create safety hazards in the adjacent neighborhood. We will implement measures such as designated drop-off and pick-up areas, traffic flow management, and communication with parents to minimize any potential impacts on the surrounding area. Our priority is to maintain the safety and well-being of both our children and the community at large.

D. A play area shall be provided in the rear yard of the property. Said area shall be enclosed by a fence at least four feet in height to ensure the safety of the children. The fenced play area shall be secured with self-closing and self-latching gate(s) as approved by the Village. Said play area shall be screened from adjacent properties with fencing or landscaping.

Response: to this requirement, we will ensure that a designated play area is provided in the rear yard of the property. This play area will be enclosed by a fence at least four feet in height to ensure the safety of the children. Additionally, the fenced play area will be equipped with self-closing and self-latching gate(s) as approved by the Village to further enhance safety measures.

Furthermore, we will ensure that the play area is appropriately screened from adjacent properties either through fencing or landscaping to provide privacy and minimize disturbances to neighboring properties.

Our commitment is to create a safe and enjoyable outdoor space for the children under our care while also being considerate of the surrounding community and adhering to regulatory standards set forth by the Village.

E. The day care activities shall not create undue noise or other nuisances for adjacent properties. There shall be no outdoor sound amplification devices which produce distinctly and loudly audible sounds beyond the boundary of the property from which the sound originates.

Response: We are committed to ensuring that our daycare activities do not create undue noise or other nuisances for adjacent properties. We will refrain from using outdoor sound amplification devices that produce loud and distinctly audible sounds beyond the boundary of our property.

We understand the importance of maintaining a peaceful environment for both the children under our care and the neighboring properties. We will take appropriate measures to manage noise levels and conduct our activities in a manner that respects the tranquility of the surrounding area.

Our goal is to be a considerate and responsible member of the community, and we will adhere to these guidelines to promote harmony and goodwill with our neighbors.

F. Employees who are not residents of the day care home may be employed by the day care provider, if it is determined by the Planning and Zoning Commission that this would not be detrimental to the neighborhood. Parking shall be provided on the property for any employee driving to the home.

Response: In response to this provision, we will ensure that any employees who are not residents of the daycare home and are employed by the daycare provider are evaluated by the Planning and Zoning Commission to determine whether their employment would be detrimental to the neighborhood. Additionally, parking will be provided on the property for any employee who drives to the home.

G. An approved day care home shall be subject to periodic inspection by the Village in accordance with Village procedures for inspections concerning health, life-safety and other applicable regulations.

Response: We acknowledge that our approved daycare home will be subject to periodic inspection by the Village in accordance with their procedures for inspections related to health, life-safety, and other applicable regulations.

We are committed to maintaining a safe and healthy environment for the children under our care, as well as complying with all relevant regulations and standards set forth by the Village. We will cooperate fully with Village inspectors during these inspections to ensure that our daycare home meets all necessary requirements and remains in compliance with applicable regulations.

Our priority is the well-being and safety of the children in our care, and we will take proactive measures to address any concerns identified during these inspections to ensure the continued quality of our daycare services.

H. The Planning and Zoning Commission and Corporate Authorities may impose conditions and restrictions as may be necessary or appropriate to comply with the foregoing criteria and standards. The foregoing standards may be modified as deemed reasonable in specific cases.

Response: In response to this provision, we acknowledge that the Planning and Zoning Commission and Corporate Authorities have the authority to impose conditions and restrictions deemed necessary or appropriate to comply with the criteria and standards outlined. Additionally, we understand that these standards may be modified as deemed reasonable in specific cases.

We are committed to working closely with the Planning and Zoning Commission and Corporate Authorities to ensure that any conditions or restrictions imposed are met and that modifications to the standards are implemented in a reasonable manner. Our goal is to maintain compliance with all regulatory requirements while providing quality daycare services to the community.

I. The Planning and Zoning Commission shall consider the number and location of other child day care homes so as to avoid congestion and other negative impacts.

Response: we understand that the Planning and Zoning Commission will consider the number and location of other child day care homes to avoid congestion and other negative impacts.

Village of Buffalo Grove

Home Daycare Location



Home Daycare Locations

 Current

 Proposed

00.250.51

Miles



The map displays the Village of Buffalo Grove and its surrounding areas, including Vernon Hills, Lincolnshire, Wheeling, and Prospect Heights. Major roads shown include Route 83, Route 45, Route 22, Route 53, and Route 68. The map highlights current home daycare locations with blue pins and proposed locations with red pins. The Village of Buffalo Grove logo is in the top right corner, along with a scale bar and a north arrow.

Location	Status
McHenry Rd	Current
Deerfield Pkwy	Current
W Lake Cook Rd	Current
Dundee Rd	Current
N Old Arlington Heights Rd	Current
N Buffalo Grove Rd	Current
Old Buffalo Grove Rd	Current
W Hintz Rd	Current
W Dundee Rd	Current
W Rand Rd	Current
McHenry Rd	Proposed

Attachment: Home Daycare Locations Map - 24-0408 (4 Brucewood Court - Home Daycare Special Use)

Packet Pg. 33

Printed Date: 4/3/2024 X:\GIS\Community\BuffaloGrove\Project\20180509_Adhoc\Projects\2024\20240403_DaycareMap

From:
To: [Kelly Purvis](#)
Subject: public hearing
Date: Monday, April 15, 2024 1:25:52 PM

Hi Kelly. I don't know if you are the person who handles the public hearing notices or not.

I wanted to respond to a mailing we received regarding 4 Brucewood Court and Titilopo Afolabi.

We OBJECT to the opening of a daycare at their home.

Their home abutts to the homes on Crestview Terrace. We and our neighbors enjoy gardening and other activities in our yards.

We do NOT want to have to hear children all day long while we are out in our yards. The yards that are to the back of 4 Brucewood

Court are almost entirely owned by older persons.....many who are retired.

The public notice went out NOT indicating even the days or times that the person wants to operate their home daycare.

I hope that the Village of Buffalo Grove will seriously consider our objection and not approve the home daycare.

14 Crestview Terrace
Buffalo Grove, IL 60089

Attachment: Public Comments - Combined & Redacted (4 Brucewood Court - Home Daycare Special Use)

From:
To: [Kelly Purvis](#)
Subject: Re: Automatic reply: public hearing
Date: Tuesday, April 16, 2024 4:27:02 PM

We have old people and language barriers that do not allow for the neighbors to object to the daycare. We have a couple who are 86 years old, a Chinese family without language skills, a 85 year old Korean woman, a Polish family and a Ukrainian family. These people are not comfortable protesting the daycare. Perhaps they are illegal. This corner to the back of the 4 Brucewood cul de Sac objects in the strongest terms to the daycare.

Sent from my iPhone

Attachment: Public Comments - Combined & Redacted (4 Brucewood Court - Home Daycare Special Use)

From:
To: [Kelly Purvis](#)
Subject: 03-04-105-014-000 at 4 Brucewood court
Date: Tuesday, April 16, 2024 8:56:59 PM
Attachments: [image001.png](#)

Greetings,

I am a resident at 14 Crestview Terrace. My property backs up to the property in question and I strongly oppose the usage of a private residential property as a child day care center. I do not want the additional traffic or noise that will undeniably be present outside disturbing the currently peaceful setting the neighborhood offers. I also believe it will negatively impact property values on the block as no home near this noise will be as valuable. Unfortunately, I cannot attend the meeting as I have a work place dinner that evening.

I chose do not live in a business district. Please keep it that way.

Thank you

From:
To: [Kelly Purvis](#)
Subject: Fw: Picture to 4 Brucewood Ct
Date: Wednesday, April 17, 2024 9:50:16 AM
Attachments: [IMG_6075.jpg](#)
[IMG_6076.jpg](#)
[IMG_6077.jpg](#)
[IMG_6078.jpg](#)

Dear Kathy:

I am providing 4 pictures of the yards that abutt to 4 Brucewood Court. As you can see, the fencelines touch.

In the one picture, you can see my 80 year old neighbor out in her hair already gardening.

As I have previously mentioned, this is not a section that should have a day care. In fact, the area is not zoned as a business district.

The village has not done a good job in ensuring that properties owners take care of their own. In the more than 30 years that we have lived here we have seen auto mechanics work on cars in their driveways, toys left on sidewalks for day care or sitters, roofers who park multiple vans blocking streets until the point that their vehicles are actually out into the street itself as it is on Rosewood.

14 Crestview Terrace
Buffalo Grove, IL 60089

Attachment: Public Comments - Combined & Redacted (4 Brucewood Court - Home Daycare Special Use)









Action Item : Consider a Zoning Variation for the Purpose of Constructing a Three-Seasons Room that Would Encroach into the Required 40-Foot Rear Yard Setback at 2280 Apple Hill Ct S.

Recommendation of Action

Staff recommends approval, subject to the conditions in the attached Staff Report.

The Petitioner is requesting a variation to construct a three-season room that encroaches into the rear yard setback at 2280 Apple Hill Ct S. The R-4 Zoning District requires a 40' rear yard setback and the proposed addition would encroach 11' into the setback

ATTACHMENTS:

- 2280 Apple Hill - Staff Report (PDF)
- 2280 Apple Hill - Plan Set (PDF)

Trustee Liaison
Weidenfeld

Staff Contact
Andrew Binder, Community Development

Wednesday, May 15, 2024

MEETING DATE:	May 15, 2024
SUBJECT PROPERTY LOCATION:	2280 Apple Hill Ct S, Buffalo Grove, IL 60089
PETITIONER:	Zach Zielinski, 575 S. Arthur Ave, Arlington Heights, IL 60005
PREPARED BY:	Andrew Binder, Associate Planner
REQUEST:	A variation to Village Zoning Ordinance, Section 17.40.020, for the purpose of constructing a 3-seasons room that would encroach into the required 40-foot rear yard setback at 2280 Apple Hill Ct S.
EXSITING LAND USE AND ZONING:	The property is improved with a single-family home and zoned R-4: One-Family Dwelling District.
COMPREHENSIVE PLAN:	The 2009 Village Comprehensive Plan calls for this property and the immediate neighborhood to be single-family detached.

PROJECT BACKGROUND

The Petitioner is requesting a variation to construct a three-season room that encroaches into the rear yard setback at 2280 Apple Hill Ct S. The R-4 Zoning District requires a 40’ rear yard setback and the proposed addition would encroach 11’ into the setback, as shown in Figure 1.

PLANNING & ZONING ANALYSIS

- The proposed addition will be located in the rear yard of the subject property.
- This proposed three-season addition measures 14’ in length and 9.5’ in width, which is a total area of 133 square feet. The proposed sunroom will be a one-story addition with a height of 11’-3”, which will not exceed the height of the existing house.
- This addition will encroach 11’ into the required 40’ rear yard setback and will be located approximately 29’ from the rear property line. The addition will be setback approx. 31’ from each side property line, which meets the side yard setback requirements.
- The sunroom cannot be turned or flipped to reduce rear yard setback due to existing chimney bump out and sliding glass door.

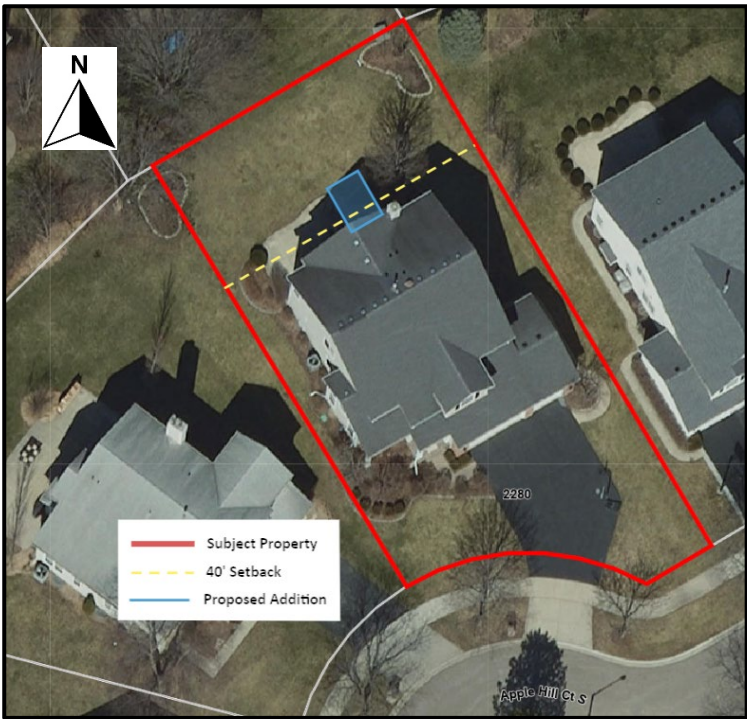


Figure 1: Subject Property with Addition in Blue

Attachment: 2280 Apple Hill - Staff Report (2280 Apple Hill Ct - ZV)

- The Planning and Zoning Commission is allowed to grant variations for encroachment requests up to 33% of the 40' setback requirement. In this case, the proposed rear yard encroachment of 11' constitutes 27.5% of the required rear yard setback and would fall within the PZC's purview to grant full approval.

VARIATION(S) REQUESTED

A rear yard setback variation from Section 17.40.020 of the Buffalo Grove Zoning Code to allow the encroachment of a sunroom addition.



Figure 2: Rear Face of the House

DEPARTMENTAL REVIEWS

Village Department	Comments
Engineering & Building	The Village Engineer and Building Staff have reviewed the proposed sunroom addition and do not have any concerns.

SURROUNDING PROPERTY OWNERS

Pursuant to Village Code, the contiguous property owners were notified, and a public hearing sign was posted on the subject property. The posting of the public hearing sign and the mailed notifications were completed within the prescribed timeframe as required. As of the date of this Staff Report, the Village has received one inquiry regarding the requested variation. No objections have been filed.

STANDARDS

The Planning & Zoning Commission is authorized to grant variations of the Zoning Code pursuant to Section 17.52.040 and 17.52.070, based on the following criteria:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the zoning district in which it is located except in the case of residential zoning districts;
2. The plight of the owner is due to unique circumstances;
3. The proposed variation will not alter the essential character of the neighborhood.

The petitioner has provided a written response to the standards for a variation which are included in the attached packet.

STAFF RECOMMENDATION

Staff recommends **approval** of the variation request for an addition to encroach 11' into the rear yard setback at 2280 Apple Hill Ct S, subject to the conditions listed in the PZC motion below, due to the following reasons:

- The proposed addition is only 133 square feet, the size of a small accessory structure, which would be a permitted encroachment in the rear yard;
- The addition complies with all other zoning requirements, other than the variance requested;
- The addition will not impact any easements;
- The addition will not alter the character of the neighborhood.

ACTION REQUESTED

The Planning & Zoning Commission (PZC) shall open the public hearing and take public testimony concerning the variation. The PZC shall make a final decision on whether to approve the variation.

Suggested PZC Motion

PZC moves to grant a variation to Village Zoning Ordinance, Section 17.40.020, for the purpose of constructing a 3-seasons room that would encroach into the required 40-foot rear yard setback at 2280 Apple Hill Ct South, subject to the following conditions:

- 1) The proposed addition shall be installed in accordance with the documents and plans submitted as part of this petition.*

ATTACHMENTS

1. Petitioner's Narrative
2. Petitioner's Response to Variation Standards
3. Site Plan and Architectural Plans
4. Photo of Rear Face of the House

To the Planning and Zoning commission of Buffalo Grove regarding the proposed variance at 2280 Apple Hill Ct South:

We are requesting a variance because we are trying to construct a 14x9.5 3 season sunroom addition. The rear yard setback requirement is 40 feet, and the room would be 29 feet away. The hardship that will arise if the variance is not granted is that there will be no room for any sort of addition work. This issue is because of the location of the home on the lot. Because of the home's location there is no room to make improvements on the home since any sort of addition work would not be able to fit since from the back of the home to the property line is 43 feet which leaves only 3 feet to build anything. Three feet is not an adequate amount of space to build any sort of improvement in the rear yard.

During your testimony at the Public Hearing, you need to testify and present your case for the variance being requested. During your testimony, you need to address the three (3) Variation Standards listed below:

Criteria for Zoning Variation.

- A. The regulations of this Title shall not be varied unless findings of fact are made based upon evidence presented at the hearing that:
1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the zoning district in which it is located except in the case of residential zoning districts;

Response:

The practical difficulty complained of was not created because of any action taken by the resident or its predecessors in interest of the property, which could have been reasonably foreseen to create difficulty in complying with the ordinance for future improvements. The overall intent of the zoning code/building code will be in high esteem, beyond the variance presented.

2. The plight of the owner is due to unique circumstances;

Response:

The home's location has no room to make improvements on the home since any sort of addition work would not be possible from the home since the rear yard setback requirement is 40 feet which is not an adequate amount of space to work with. This is not adequate space because the proposed room addition is 14 feet in length. From the back of the house to the rear yard lot line measures out to be 43 feet. Which would only be 3 feet of room to build in the rear yard, which is not enough space to make any sort of improvement.

3. The proposed variation will not alter the essential character of the neighborhood

Response:

The proposed addition would not alter the essential character of the neighborhood in any way.

LEGEND

N.	= North
S.	= South
E.	= East
W.	= West
N.W.	= Northwest
N.E.	= Northeast
S.E.	= Southeast
S.W.	= Southwest
P.O.B.	= Point of Beginning
SQ.FT.	= Square Feet
R.O.W.	= Right of Way
Doc.	= Document
Rec.	= Recorded as
Meas.	= Measured
T.F.	= Top of Foundation
MIN.	= Minimum
MAX.	= Maximum

R.E. DECKER
(1933-1999)R.G. PAVLETIC
P.L.S. 035-3261

Plat of Survey

of

Lot 48 in Mirielle Subdivision Phase 1, being a subdivision of part of the East Half of the Northeast Quarter of Section 21, Township 43 North, Range 11, East of the Third Principal Meridian, according to the plat thereof recorded January 12th, 1995, as Document 3634809, in Lake County, Illinois.

Commonly known as: **2280 APPLE HILL COURT SOUTH, BUFFALO GROVE, ILLINOIS.**

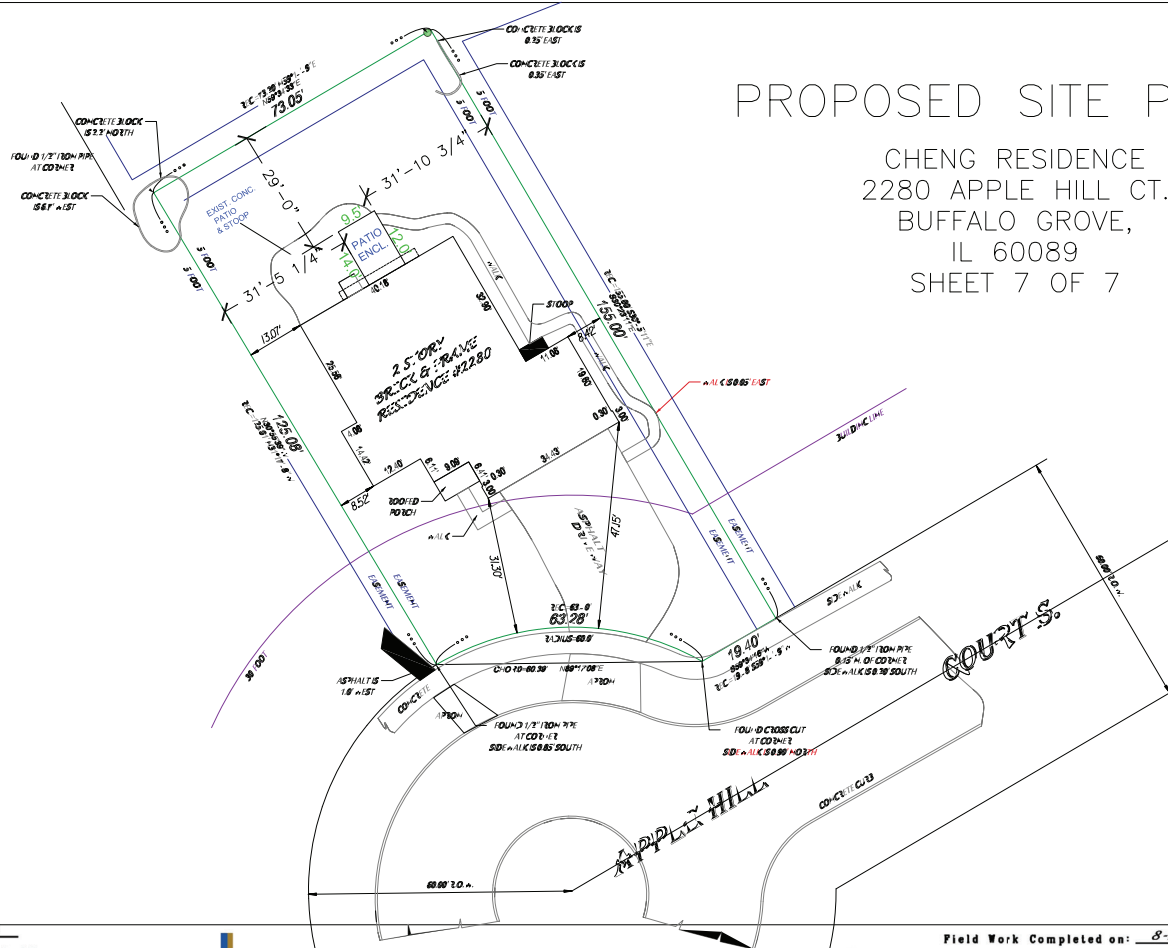


The Meridian is assumed but reflects the record Subdivision or Deed, except when noted.

Scale 1"= 20 ft

PROPOSED SITE PLAN

CHENG RESIDENCE
2280 APPLE HILL CT.
BUFFALO GROVE,
IL 60089
SHEET 7 OF 7

ORDER NUMBER 22-631ORDERED BY: James E. Fluri, Atty.FOR: Perozzi to Wang & Cheng

REVISIONS: _____

THIS RAISED SEAL INDICATES
THIS IS AN ORIGINAL PRINT



R E DECKER
PROFESSIONAL LAND SURVEYORS PC
333 W. PETERSON RD SUITE B
LIBERTYVILLE, IL 60048
TEL. 847-362-0091
DeckerSurvey@gmail.com
Website: DeckerSurvey.com

Field Work Completed on: 8-18-22STATE OF ILLINOIS }
COUNTY OF LAKE }

This Professional service conforms to the current:
Illinois minimum standards for a "Boundary Survey."

R. E. DECKER, P.C.

By: [Signature] 8-27-22
Professional Land Surveyor

Compare the Description on this Plat with your Deed and Title; also compare all stakes to this Plat before building by them, and report any differences at once. Dimensions are shown in feet and decimal parts thereof. Refer to Title, Covenants or Building Department for additional Easements, Setbacks or Restrictions which may exist.

LEGEND

N.	= North
S.	= South
E.	= East
W.	= West
N.W.	= Northwest
N.E.	= Northeast
S.E.	= Southeast
S.W.	= Southwest
P.O.B.	= Point of Beginning
SQ.FT.	= Square Feet
R.O.W.	= Right of Way
Doc.	= Document
Rec.	= Recorded as
Meas.	= Measured
T.F.	= Top of Foundation
MIN.	= Minimum
MAX.	= Maximum

R.E. DECKER
(1933-1999)R.G. PAVLETIC
P.L.S. 035-3261

Plat of Survey

of

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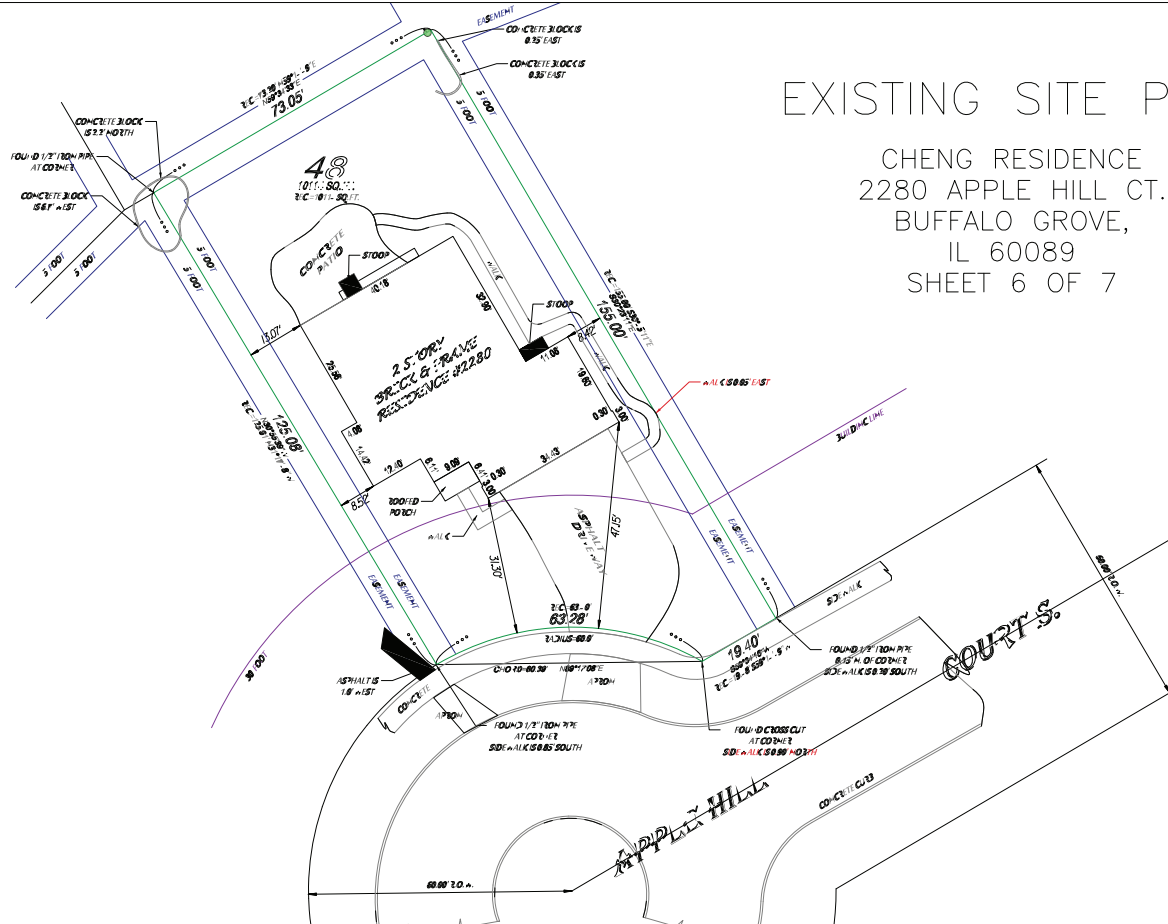


The Meridian is assumed but reflects the record Subdivision or Deed, except when noted.

Scale 1"= 20 ft

EXISTING SITE PLAN

CHENG RESIDENCE
2280 APPLE HILL CT.
BUFFALO GROVE,
IL 60089
SHEET 6 OF 7

ORDER NUMBER 22-631ORDERED BY: James E. Fluri, Atty.FOR: Perozzi to Wang & Cheng

REVISIONS: _____

THIS RAISED SEAL INDICATES
THIS IS AN ORIGINAL PRINT



R E DECKER
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TEL. 847-362-0091
DeckerSurvey@gmail.com
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Field Work Completed on: 8-18-22STATE OF ILLINOIS }
COUNTY OF LAKE }

This Professional service conforms to the current:
Illinois minimum standards for a "Boundary Survey."

R. E. DECKER, P.C.

By: [Signature] 8-27-22
Professional Land Surveyor

Compare the Description on this Plat with your Deed and Title; also compare all stakes to this Plat before building by them, and report any differences at once. Dimensions are shown in feet and decimal parts thereof. Refer to Title, Covenants or Building Department for additional Easements, Setbacks or Restrictions which may exist.

CHENG RESIDENCE

2280 APPLE HILL CT. BUFFALO GROVE

THESE PLANS AND CONSTRUCTION WILL COMPLY WITH THESE
Village of Buffalo Grove codes with local amendments:

2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2017 NATIONAL ELECTRICAL CODE
VILLAGE OF BUFFALO GROVE CODE OF ORDINANCES

HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED
UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE
CONFORM TO THE REQUIREMENTS OF THE ZONING AND BUILDING
ORDINANCES OF: BUFFALO GROVE



DRAWING # DESCRIPTION

- | DRAWING # | DESCRIPTION |
|-----------|---------------------------------|
| 1 | COVER |
| 2 | ELEVATIONS |
| 3 | FLOOR PLANS & FOUNDATION |
| 4 | MANUFACTURE DRAWINGS SHT 1 OF 2 |
| 5 | MANUFACTURE DRAWINGS SHT 2 OF 2 |
| 6 | EXISTING SITE PLAN |
| 7 | PROPOSED SITE PLAN |

MINIMUM DESIGN LOADS: PER 2018 IRC

SNOW LOADS: GROUND SNOW LOAD 30 PSF

ULTIMATE DESIGN WIND SPEED: 115 MPH, 3 SEC. GUSTS

ALL CONCRETE TO BE 3000 PSI MINIMUM

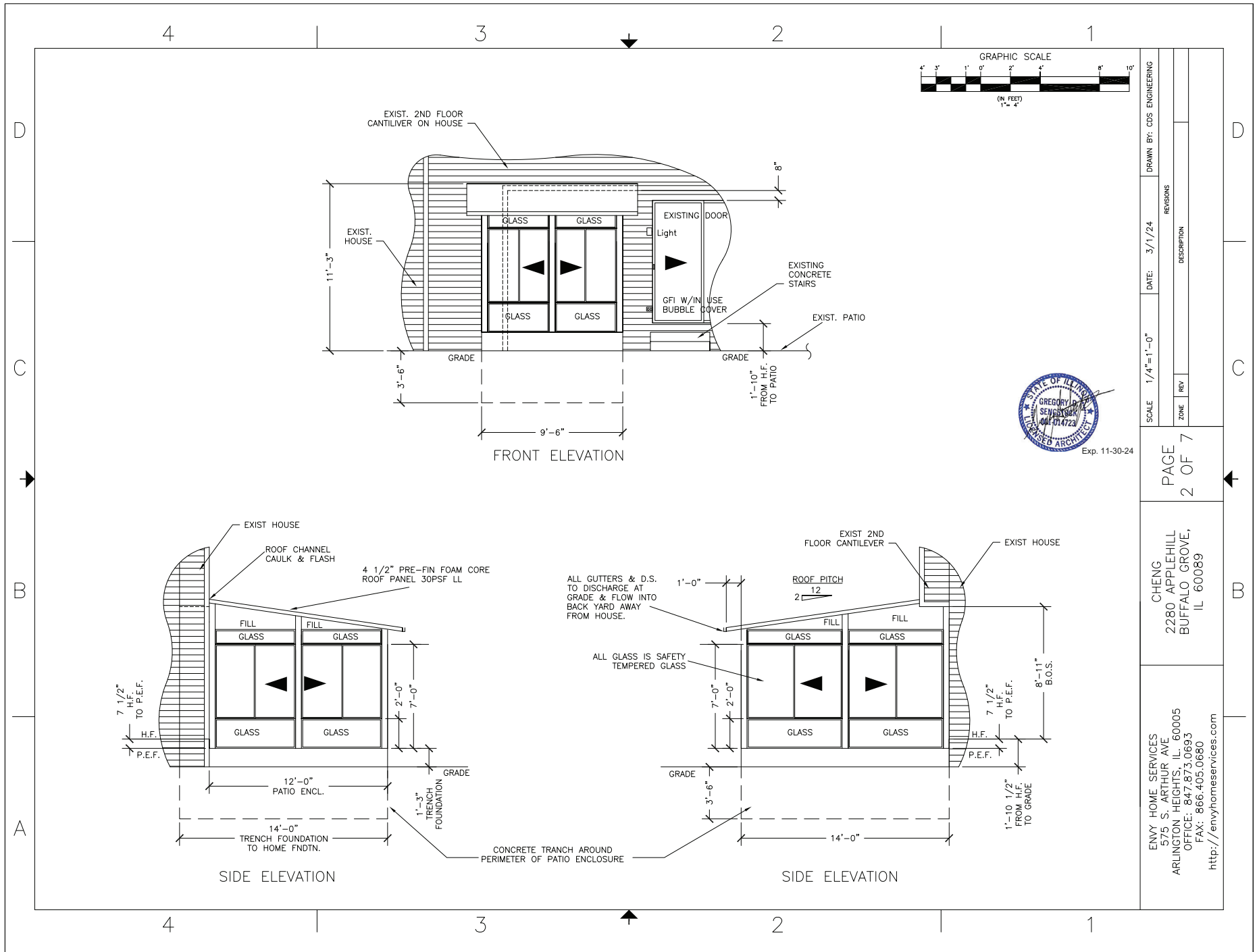
LIVE LOADS:

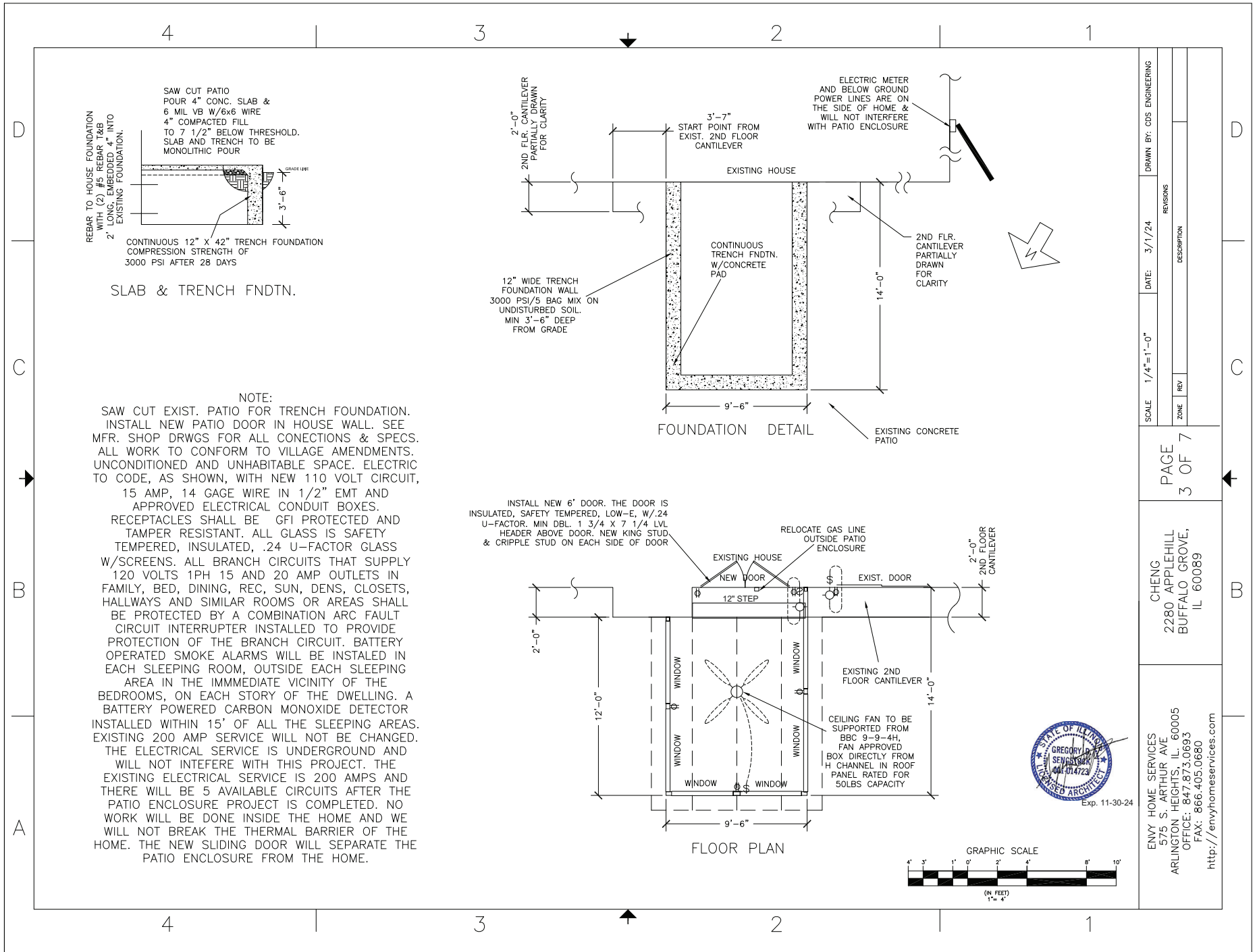
1. ROOF: 30 PSF
2. FLOOR: 40 PSF

SAFETY NOTE:
ALL CONTRACTORS AND THEIR REPRESENTATIVES WORKING ON THIS PROJECT SHALL AT ALL TIMES DURING THE COURSE OF THEIR ACTIVITY BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES, AS WELL AS OTHERS. EACH REPRESENTATIVE AND THEIR EMPLOYEES SHALL ASCERTAIN THAT THE CONDITIONS UNDER WHICH THEY WILL BE REQUIRED TO ACCOMPLISH THEIR WORK ARE SAFE AND WITHIN THE GOOD SAFETY PRACTICES AND ALL REGULATIONS OF THE OCCUPATIONAL SAFETY AND HAZARD ACT AND OTHER GOVERNING REGULATIONS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTR AND ALL SUBCONTRACTORS TO FIELD VERIFY EXISTING JOBSITE CONDITIONS AND TO KEEP THE JOBSITE SAFE DURING THE ENTIRE CONSTRUCTION PERIOD.

THE ARCHITECTS RESPONSIBILITY EXTENDS ONLY AND SOLELY TO THE PREPARATION OF THESE DRAWINGS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR SUPERVISION OF ANY WORK NOR FOR ANY LIABILITY IN ERECTION, INSTALLATION AND/OR CONSTRUCTION DURING THE PERFORMANCE OF ANY WORK AS MAY BE REQUIRED BY THESE DRAWINGS. THE ARCHITECTS SCOPE OF WORK ON THIS PROJECT DOES NOT INCLUDE JOBSITE INSPECTIONS, FIELD VISITS DURING CONSTRUCTION AND/OR APPROVAL OF PAYOUT REQUESTS.

SCALE 1/4" = 1'-0"	DATE: 3/1/24	DRAWN BY: CDS ENGINEERING
	REVISIONS	
PAGE 1 OF 7	DESCRIPTION	CHENG 2280 APPLEHILL BUFFALO GROVE, IL 60089
ENVY HOME SERVICES 575 S. ARTHUR AVE ARLINGTON HEIGHTS, IL 60005 OFFICE: 847.873.0693 FAX: 866.405.0660 http://envyhomeservices.com		





GENERAL NOTES:

- ENCLOSURES TO BE INSTALLED BY BETTERLIVING DEALER USING MATERIALS SUPPLIED BY CRAFTBILT MANUFACTURING COMPANY (CBM).
- MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER ENCLOSED STRUCTURES PER ASCE 7-10 AS REFERENCED IN LOCAL CODES.
- LOCAL DESIGN LOADS:
 - GROUND SNOW LOAD - 40PSF
 - WIND SPEED 115 EXP B (TABLE 1B), 130 MPH EXP B (TABLE 2B), 150 MPH EXP B (TABLE 3B)
- ALLOWABLE STRESS DESIGN PER 2010 ALUMINUM DESIGN MANUAL.
- ALLOWABLE DEFLECTION NOT TO EXCEED L/120 PER IRC TABLE R301.7, NOTE C.
- PROVIDE GUARDS ALONG OPEN-SIDED WALKING SURFACES (STAIRS, RAMPS, DECKS, & LANDINGS) LOCATED 30 INCHES OR MORE ABOVE GRADE PER IRC (2012/2015) R312.1.1, R312.1.2, R312.1.3.
- PROVIDE WINDOW FALL PROTECTION AT OPENINGS OF OPERABLE WINDOWS LOCATED MORE THAN 72 INCHES ABOVE FINISHED GRADE PER IRC.
- EXISTING CONDITIONS TO BE INSPECTED BY CONTRACTOR AND ALL MATERIALS REPAIRED AND/OR REPLACED AS REQUIRED TO RENDER THEM STRUCTURALLY SOUND AND COMPLETE.
- CONTRACTOR SOLELY RESPONSIBLE FOR MEANS AND METHODS DURING ALL PHASES OF CONSTRUCTION.
- OWNER/CONTRACTOR JOINTLY RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF AUTHORITY HAVING JURISDICTION (AHJ).
- ANY DISCREPANCIES OR DEVIATIONS FROM DRAWING(S) REQUIRE REVISED ENGINEERING DRAWINGS.
- DRAWINGS APPLY ONLY TO STRUCTURAL/FRAMING ELEMENTS OF PROJECT.
- DRAWINGS NOT TO SCALE. SCALING OF DIMENSIONS OFF DRAWINGS NOT PERMITTED.
- ALUMINUM SHOULD NOT BE USED IN DIRECT CONTACT WITH PRESERVATIVE TREATED WOOD OR CONCRETE.
- STUDIO ENCLOSURES EXCEEDING 18FTx18FT AND GABLE ENCLOSURES EXCEEDING 18FTx20FT IN SIZE REQUIRE SITE SPECIFIC ENGINEERING DRAWINGS.
- STUDIO / GABLE ENCLOSURE IN HIGH SNOW LOAD (>40 PSF) AND/OR HIGH WIND AREAS REQUIRE SITE SPECIFIC ENGINEERING DRAWINGS.

FRAMING NOTES:

- FRAMING SHAPES AND SIZES SHOWN ON APPROVED FRAMING DRAWINGS / FASTENER TABLES REPRESENT MINIMUM DIMENSION TO RESIST COMBINED WIND AND ALLOWABLE GROUND SNOW LOADS (SEE TABULATED VALUES).
- EXTRUDED SECTIONS TO USE 6063-T6 ALUMINUM ALLOY/TEMPER (OR BETTER).
- ALL STRUCTURAL COLUMNS TO BE CONTINUOUS FROM FLOOR TO ROOF.
- ALL STRUCTURAL BEAMS TO BE CONTINUOUS BETWEEN SUPPORTS.
- END BEARING OF FRAMING MEMBERS TO BE UNIFORM ACROSS FULL CROSS SECTION.
- BUILT-UP FRAMING MEMBERS TO BE MECHANICALLY CONNECTED IN FIELD TO ACT AS A SINGLE MEMBER (MIN. 2#SDS @ 6" O.C., PLY).
- BARRIER MEMBRANE(S) COATINGS TO BE INSTALLED TO PROTECT ALUMINUM MEMBER FROM GALVANIC ACTION BY OTHER METALS AND TO PREVENT CORROSION FROM CONTACT WITH CONCRETE, WOOD TREATMENTS AND OTHER MATERIALS.
- MAXIMUM MEMBER LENGTH/HEIGHT NOT TO EXCEED DIMENSIONS SHOWN & TABULATED VALUES.
- MULLION SPACING NOT TO EXCEED THE LESSOR OF 7.5 FT ONE HALF THE WALL DIMENSION.
- WALL HEIGHT NOT TO EXCEED 98-3/4" (ALUMINUM ENCLOSURES) OR 111-3/4" (VINYL ENCLOSURES).

FASTENER NOTES:

- FASTENER SIZES AND QUANTITIES SHOWN ON APPROVED CONNECTION DRAWINGS REPRESENT MINIMUM INSTALLATION TO RESIST COMBINED SNOW AND WIND LOADING IN TABLES.
- USE FASTENERS THAT COMPLY WITH BUILDING CODES.
- USE FASTENERS THAT RESIST CORROSION BY ACQ-C, ACQ-D AND CA-B OR OTHER TREATED LUMBER (WHERE APPLICABLE) AND/OR GALVANIC ACTION WHEN FASTENED THROUGH DISSIMILAR MATERIALS.
- HOT-DIPPED GALVANIZED COATED FASTENERS TO CONFORM TO ASTM A153 OR BETTER.
- HOT-DIPPED GALVANIZED COATED CONNECTORS TO CONFORM TO ASTM A653 (CLASS G-185) OR BETTER.
- STAINLESS STEEL FASTENERS AND CONNECTORS TO BE USED IN HIGHLY CORROSIVE ENVIRONMENTS AS REQUIRED BY BUILDING CODES. MOST COMMONLY AVAILABLE ELECTROPLATED GALVANIZED DO NOT HAVE A SUFFICIENT COATING OF ZINC AND ARE NOT RECOMMENDED.
- NEVER MIX GALVANIZED STEEL WITH STAINLESS STEEL IN THE SAME CONNECTION.
- FASTENERS IN LUMBER TO BE INSTALLED INTO PRE-DRILLED HOLES WITH DIAMETER NOT EXCEEDING FASTENER SHANK MIN. DIAMETER FOR #10 WOOD SCREWS OR #14 WOOD SCREWS/LAGS PER FASTENER MANUFACTURER'S INSTRUCTIONS.
- MINIMUM SPACING BETWEEN FASTENERS TO BE 2.5X NOMINAL FASTENER DIAMETER.
- MINIMUM SPACING FROM FASTENER TO EDGE OF PART TO BE 1.5X NOMINAL FASTENER DIAMETER.
- ALL OVERDRIVEN FASTENERS TO BE REPLACED IN NEW HOLES.
- BOLT HOLES TO BE 1/32-INCH TO 1/16-INCH DIAMETER LARGER THAN THE BOLTS.
- BOLTS TO MEET OR EXCEED ASTM A 307 OR SAE J429 GRADES 1 OR 2 OR BETTER.
- BOLT TO EXTEND THROUGH THE FULL THICKNESS OF THE MEMBERS.
- BOLTS TO BE USED WITH WASHER NOT LESS THAN A STANDARD CUT WASHER UNDER THE HEAD AND NUT MEETING ANSI B18.22.1.
- FASTENER QUANTITY / SPACING DESIGNATION 2x6 IN TABLES REQUIRES 2 ROWS OF FASTENERS, OF TYPE AS SHOWN IN TABLE.

CBM ROOF/WALL PANEL NOTES

- VALUES AND ATTACHMENTS OF STRUCTURAL PANELS SHOWN ON APPROVED LAYOUT DRAWINGS TO BE SELECTED TO RESIST COMBINED SNOW AND WIND LOADING (SEE TABULATED SIZES) USING PUBLISHED EVALUATION REPORT AND/OR CBM RECOMMENDATIONS.
- PANELS TO USE 3004 H374 ALUMINUM ALLOY / TEMPER (OR BETTER).
- PANELS / PANEL CORES TO BE CONTINUOUS BETWEEN SUPPORTS.
- PANELS TO BE INSTALLED WITH CONTINUOUS CBM SILICONE SEALANT (MIN. 1.5" WIDTH) ON ALL CONTACT SURFACES.
- ALL CONTACT SURFACES TO BE PROPERLY CLEANED PER MANUFACTURER, PRIOR TO APPLYING SEALANT.
- ALL PANELS TO BE MECHANICALLY ANCHORED PER APPROVED DRAWINGS & TABLES.
- ALL PANELS TO BE INSTALLED WITH ALL H-STIFFENERS ALONG ADJOINING EDGES.
- ALL PANELS TO BE ATTACHED TO H-STIFFENERS (MIN. #6SDS TEK @ 9" O.C.) OR AS REQUIRED TO ACHIEVE FIRE RATINGS.
- PANELS TO BE USED ONLY IN ONE STORY ENCLOSURES OF CONSTRUCTION TYPE VB, AS PERMITTED BY CODE.
- PANELS TO BE USED ONLY IN ENCLOSURES WHERE CLASS B OR CLASS II INTERIOR FINISHES ARE PERMITTED BY CODE.

WINDOWS & DOORS:

- WINDOW AND DOOR UNIT DESIGN PRESSURE (SP) RATINGS TO SATISFY ALL CODE REQUIREMENTS.
- WINDOW AND DOOR UNITS IN CONDITIONED SPACES TO COMPLY WITH ENERGY RATINGS PER CODE.
- GLAZING USED IN DOORS AND WINDOWS TO BE TEMPERED OR, IF INSTALLED IN HAZARDOUS LOCATIONS, TO CONFORM TO CODE GLAZING REQUIREMENTS IRC (2012) R308.

ENGINEERED LUMBER / LAMINATED VENEER LUMBER**(LVL) NOTES:**

- CONTRACTOR: ALL LVL JOISTS ARE RATED FOR "DRY-USE/INTERIOR" APPLICATIONS ONLY.
- LVL JOISTS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - LVL MODULUS OF ELASTICITY 2.0 E RATED (MIN.).
 - LVL JOISTS NOT TO BE INSTALLED IN DIRECT CONTACT WITH CONCRETE OR MASONRY CONSTRUCTION.
 - LVL-JOIST BEARING AT SUPPORTS TO BE SIZED PER MANUFACTURER'S INSTRUCTION BUT NOT LESS THAN 3" FULL CONTACT.
 - LVL JOISTS TO BE RESTRAINED AGAINST ROTATION AT ENDS AND SUPPORTS, PER MANUFACTURER'S INSTRUCTIONS.
 - LVL-JOIST TOP (OR COMPRESSION EDGE) TO BE LATERALLY SUPPORTED BY PERPENDICULAR FRAMING OR BRACING AT 24-INCHES ON-CENTER OR CLOSER, PER MANUFACTURER'S

ABBREVIATIONS:

CBM = CRAFT-BILT MANUFACTURING COMPANY
 D = DOOR, M = MULLION, W = WINDOW, P = PANEL
 HC = HONEYCOMB PANELS, EPS = POLYSTYRENE PANELS
 AL = ALUMINUM, H = THERMALLY-BROKEN ALUMINUM H-STIFFENER
 PT = PRESSURE PRESERVATIVE TREATED OR APPROVED DECAY RESISTANT
 IN = INCHES, FT = FEET, MPH = MILES PER HOUR, PSF = POUNDS/SQ. FT.
 IRC = INTERNATIONAL RESIDENTIAL CODE, IBC = INTERNATIONAL BUILDING CODE
 SPECS = SPECIFICATIONS, MAX = MAXIMUM, MIN. = MINIMUM, DIA. = DIAMETER
 SDS = SELF DRILLING SCREW, OC = ON CENTER

VINYL STUDIO FASTENER TABLES

TABLE 1B - FASTENERS FOR 115 MPH WIND, EXPOSURE B 40 PSF SNOW**

DETAIL	ID	TYPE	FASTENER QUANTITY / SPACING (IN.)					
			ROOM WIDTH (B-WALL)					
			10'	12'	14'	16'	18'	
125A	F1	1/2" LAG SCREW INTO STUD	1	1	1	1	1	
125B	F1	1/4" LAG + 3/16" I" WASHER	1 @ 36" 1 @ 36" 2 @ 36" 2 @ 36" 2 @ 36"					
125C	F2	#8x3/4" SDS @ POST	2x3	2x3	2x4	2x4	2x5	
126D	F1	#8x3/4" SDS @ POST	2x3	2x3	2x4	2x4	2x5	
126D	F2	1/4" LAG + 1/16" I" WASHER	2x3	1x3	2x3	2x3	2x3	
126D	F2	1/4" TAPCON + 1/16" I" WASHER	2x3	2x3	2x3	2x3	2x3	
125J	F1	#8x3/4" SDS @ POST	2x3	2x3	2x4	2x4	2x5	

NOTE * LAG THREAD TO FULLY ENGAGE AT H FLANGES AND HEADER TOP FLANGE
 ** TABLE VALID FOR ENCLOSED STRUCTURES

TABLE 2B - FASTENERS FOR 130 MPH WIND, EXPOSURE B 40 PSF SNOW**

DETAIL	ID	TYPE	FASTENER QUANTITY / SPACING (IN.)					
			ROOM WIDTH (B-WALL)					
			10'	12'	14'	16'	18'	
125A	F1	1/2" LAG SCREW INTO STUD	1	1	1	1	1	
125B	F1	1/4" LAG + 3/16" I" WASHER	-	-	-	-	-	
125C	F1	1/4" LAG SCREW THRU AL	2 @ 36" 2 @ 36" 2 @ 36" 2 @ 36" 2 @ 36"					
125C	F2	#8x3/4" SDS @ POST	2x3	2x3	2x4	2x4	2x5	
126D	F1	#8x3/4" SDS @ POST	2x3	2x3	2x4	2x4	2x5	
126D	F2	1/4" LAG + 1/16" I" WASHER	2x3	2x3	2x4	2x4	2x4	
126D	F2	1/4" TAPCON + 1/16" I" WASHER	2x3	2x3	2x3	2x3	2x3	
125J	F1	#10x3/4" SDS @ POST	2x3	2x3	2x4	2x4	2x5	

NOTE * LAG THREAD TO FULLY ENGAGE AT H FLANGES AND HEADER TOP FLANGE
 ** TABLE VALID FOR ENCLOSED STRUCTURES

TABLE 3B - FASTENERS FOR 150 MPH WIND, EXPOSURE B 40 PSF SNOW**

DETAIL	ID	TYPE	FASTENER QUANTITY / SPACING (IN.)					
			ROOM WIDTH (B-WALL)					
			10'	12'	14'	16'	18'	
125A	F1	3/8" x 7" LAG SCREW	1	1	1	1	1	
125B	F1	1/4" LAG + 3/16" I" WASHER	-	-	-	-	-	1 @ 36" 1 @ 36"
125C	F1	1/4" LAG SCREW THRU AL	2 @ 36" 2 @ 36" 2 @ 36" 2 @ 36" 2 @ 36"					
125C	F2	#8x3/4" SDS @ POST	2x4	2x4	2x4	2x5	2x5	
126D	F1	#8x3/4" SDS @ POST	2x5	2x5	2x5	2x5	2x6	
126D	F2	1/4" LAG + 1/16" I" WASHER	2x4	2x4	2x4	2x5	2x6	
126D	F2	1/4" TAPCON + 1/16" I" WASHER	2x4	2x4	2x4	2x5	2x6	
125J	F1	#8x3/4" SDS @ POST	2x4	2x3	2x4	2x4	2x5	

NOTE * LAG THREAD TO FULLY ENGAGE AT H FLANGES AND HEADER TOP FLANGE
 ** TABLE VALID FOR ENCLOSED STRUCTURES

Maximum Spans for 4.5"-Thick Expanded Polystyrene Panels w/ Aluminum H-Stiffeners @ 36" o.c.														
	Applied Pressure ^(1,2)													
	10 psf	15 psf	20 psf	25 psf	30 psf	35 psf	40 psf	45 psf	50 psf	55 psf	60 psf	65 psf	70 psf	
Uplift	18' - 0"	18' - 0"	17' - 9"	17' - 1"	16' - 5"	15' - 9"	15' - 1"	14' - 5"	13' - 8"	12' - 9"	11' - 10"	10' - 11"	10' - 0"	
Down	18' - 0"	18' - 0"	17' - 9"	17' - 1"	16' - 0"	14' - 10"	13' - 8"	12' - 7"	11' - 5"	10' - 3"	9' - 1"	7' - 11"	6' - 9"	

VINYL
 STUDIO ENCLOSURE
 CONNECTION DETAILS
 115, 130 & 150 MPH
 EXP B & 40 PSF SNOW

DRAWN BY: CDS ENGINEERING

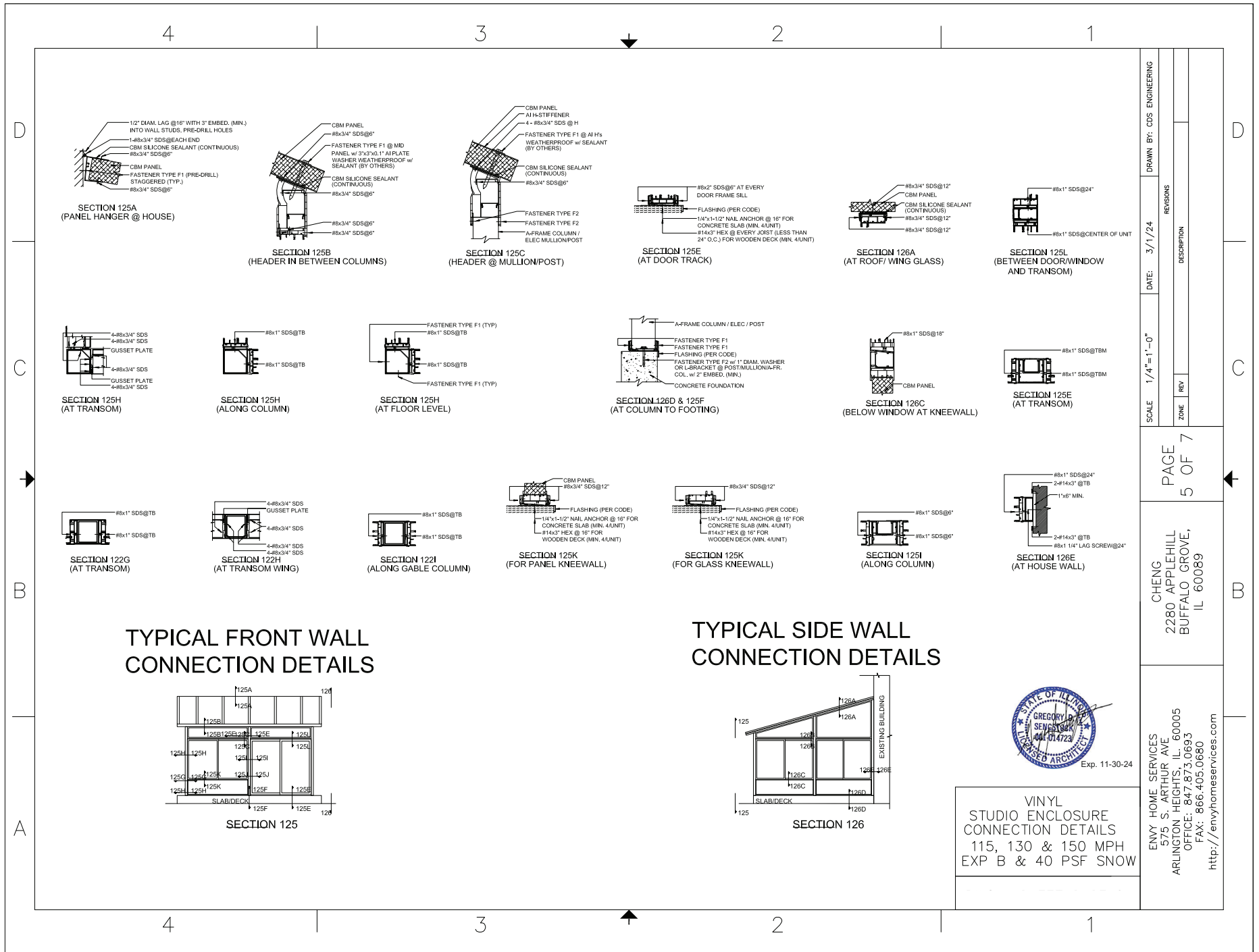
DATE: 3/1/24

SCALE: 1/4" = 1' - 0"

PAGE 4 OF 7

CHENG
 2280 APPLE HILL
 BUFFALO GROVE, IL 60089

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 FAX: 866.405.0660
<http://envyhomeservices.com>







Action Item : Consider a Special Use for a Health Club in the Industrial District at 1637-1639 Barclay Blvd

Recommendation of Action

Staff recommends approval, subject to the conditions in the attached staff report.

Sara Miranda, Body in Motion PT LLC, is requesting approval of a Special Use for a Health Club in the Village's Industrial District at 1637-1639 Barclay Blvd. The Petitioner is proposing to utilize two units within the multi-tenant building to accommodate a private instruction fitness studio.

ATTACHMENTS:

- 1637-1639 Barclay Blvd - Staff Report (PDF)
- 1637-1639 Barclay Blvd - Plan Set (PDF)

Trustee Liaison
Weidenfeld

Staff Contact
Andrew Binder, Community Development

Wednesday, May 15, 2024

MEETING DATE:	May 15, 2024
SUBJECT PROPERTY LOCATION:	1637-1639 Barclay Blvd, Buffalo Grove, IL 60089
PETITIONER:	Sara Miranda, Body in Motion PT
PREPARED BY:	Andrew Binder, Associate Planner
REQUEST:	Petition to the Village of Buffalo Grove for a Special Use for a Health Club in the Industrial District at 1637-1639 Barclay Blvd.
EXISTING LAND USE AND ZONING:	The subject property is located within a multi-tenant building and is zoned I: Industrial District.
COMPREHENSIVE PLAN:	The Village Comprehensive Plan calls for this property to be an Industrial Use.

PROJECT BACKGROUND

Sara Miranda, Body in Motion PT LLC, is requesting approval of a Special Use for a Health Club in the Village’s Industrial District at 1637-1639 Barclay Blvd (see Figure 1). The Petitioner is proposing to utilize two units within the multi-tenant building to accommodate a private instruction fitness studio.

The proposed use will be located in the multi-tenant building at 1631-1655 Barclay Blvd. The subject tenant space is 3,492 square feet in floor area and is on the northwest side of the 43,000-square-foot building. Pursuant to the Zoning Ordinance, Health Clubs are a Special Use in the Industrial District.

PLANNING & ZONING ANALYSIS

Proposed Use & Operation

- Body in Motion offers a private, appointment-only fitness studio that specializes in personal training, physical therapy, and sports training and offers recovery services to their clients. They serve clients ranging from high school athletes to professional athletes.
- The studio will operate from 7:00 am – 7:00 pm, Mondays through Fridays, and 8:30 am – 12:00 pm on Saturdays. It will be closed on Sundays and holidays.
- There will be 2 full-time and 1 part-time staff members onsite running daily operations and coaching.
- The space is expected to undergo only minor cosmetic adjustments without any changes to its layout.

Existing and Surrounding Uses

- The building and tenant space is located in the multi-tenant building at 1631-1655 Barclay Blvd. The other tenants include offices, manufacturing, and industrial warehouses. The buildings to the west and south of the subject building also have similar industrial uses.

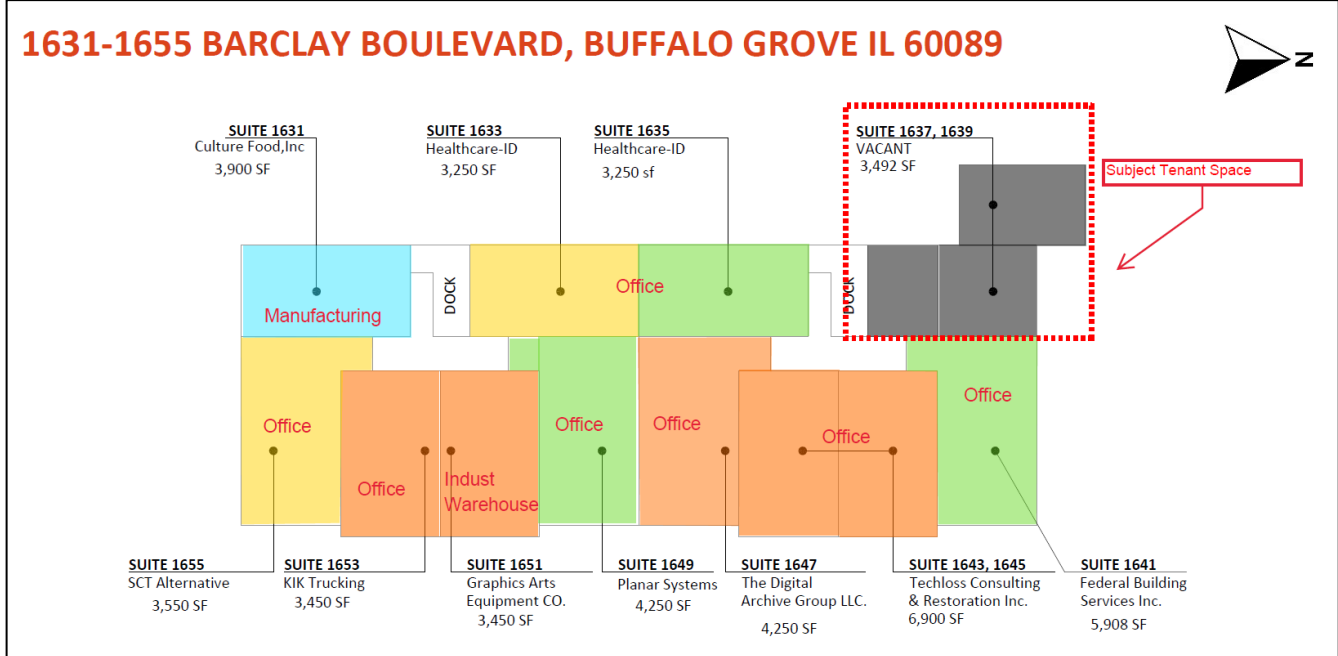


Figure 1: Subject Property

Attachment: 1637-1639 Barclay Blvd - Staff Report (1637-1639 Barclay Blvd - SU)

- This property is zoned Industrial, and the petitioner's requested use is compatible with the other tenants and the surrounding uses within the industrial office complex.

1631-1655 BARCLAY BOULEVARD, BUFFALO GROVE IL 60089



Parking

- Pursuant to the Zoning Ordinance, a Health Club requires 1 space per 1,000 square feet of floor area. The tenant space is 3,492 square feet, resulting in a requirement of 4 parking spaces.
- Pursuant to the parking analysis provided, the petitioner will only utilize 6 parking spaces at a time due to the private/one-on-one nature of the business. There are a total of 110 parking spaces for the subject multi-tenant building. Based upon square footage, these units would be allocated 8 parking spaces.
- The Petitioner has provided further analysis of parking usage for the site with aerial images over time. The information provided indicates that there is ample parking on the site for their business, with additional spaces available during late weekday and weekend hours. The Petitioner has indicated that they would use the northern most parking stalls for their employees and clients.
- Based upon the parking survey, Staff believes the existing site will have sufficient parking to accommodate the proposed use.

DEPARTMENTAL REVIEWS

Village Department	Comments
Engineering	The Village Engineer has reviewed the plans and does not have any concerns.

STANDARDS

Pursuant to the Zoning Ordinance, the proposed use does require a Special Use in the I: Industrial District. The Planning & Zoning Commission shall make a recommendation to the Village Board regarding the Special Use, based upon the following criteria:

- The special use will serve the public convenience at the location of the subject property; or the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with said special use, the size of the subject property in relation to such special use, and the location of the site with respect to streets giving access to it shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located;

3. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations with the neighborhood;
4. The nature, location and size of the buildings or structures involved with the establishment of the special use will not impede, substantially hinder or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;
5. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;
6. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance and minimize traffic congestion in the public streets.

The petitioner's responses to the standards are included in the attached packet.

SURROUNDING PROPERTY OWNERS

Pursuant to Village Code, the contiguous property owners were notified by mail and a public hearing sign was posted on the subject property. The posting of the public hearing sign and the mailing of the notifications were both completed within the required timeframe. As of the date of this Staff Report, staff has received four general inquiries regarding the requested Special Use.

STAFF RECOMMENDATION

Staff recommends **approval** of the Special Use for a Health Club in the Industrial District at 1637-1639 Barclay Blvd, subject to the conditions listed in the PZC motion below due to the following reasons:

- The use will have a low traffic generation and parking demand.
- Due to the one-on-one nature of the business, a small number of people will be on-site at any given time.
- The use is compatible with other surrounding industrial uses.

ACTION REQUESTED

The Planning & Zoning Commission (PZC) shall open the public hearing and take public testimony concerning the Special Use request at 1637-1639 Barclay Blvd. The PZC shall make a recommendation to the Village Board regarding the Special Use.

Suggested PZC Motion

PZC moves to make a positive recommendation to the Village Board to allow a Special Use for a Health Club at 1637-1639 Barclay Blvd, subject to the following conditions:

1. *The Special Use is granted to Body In Motion P.T. LLC. to operate a Health Club at 1637-1639 Barclay Blvd, which shall not run with the land.*
2. *The Special Use granted to the Body In Motion P.T. LLC. is assignable to subsequent petitioners seeking assignment of this special use as follows:*
 - a. *Upon application of a petitioner seeking assignment of this Special Use, the Corporate Authorities, in their sole discretion, may refer said application of assignment to the appropriate commission(s) for a public hearing or may hold a public hearing at the Village Board.*
 - b. *Such assignment shall be valid only upon the adoption of a proper, valid and binding ordinance by the Corporate Authorities granting said assignment, which may be granted or denied for any reason.*

ATTACHMENTS

- | | |
|--|--------------------------|
| • Petitioner's Narrative Statement | • Parking Analysis |
| • Petitioner's Response to the Special Use Standards | • Proposed Interior Plan |
| | • Site Plan with Tenants |



Body in Motion PT
Narrative
 Sara Miranda – Owner

General Business Description

Founded in 2013 by Sara Miranda, Body in Motion PT is one of the North Suburbs' premier private instruction fitness studios. For over 35 years, Sara has been helping athletes of the surrounding communities focus on targeted training to enhance athletic performance, grow individual skill, and focus on injury prevention.

Through personalized routines that focus on science based results, Sara has been able to combine proven athletic concepts and modern recovery technology to maximize the athletic ability of her clients, who include Justin Fields, Roquan Smith, and Jay Cutler.

The results of her dedication have been seen both on and off the field. With clients ranging from high school athletes on their way to Division 1 scholarships, to professionals in the major leagues working toward their next championship ring, Body in Motion has been helping all those with an active lifestyle to improve their athletic ability and longevity.

Hours of Operation

Hours of operations for Body in Motion will mirror those of their existing location. Personal appointments will be available from 7:00am – 7:00pm, Mondays through Fridays, and 8:30am – 12:00 pm on Saturdays. Body in Motion will be closed on Sundays.

Sunday:	Closed
Monday:	7:00am – 7:00pm
Tuesday:	7:00am – 7:00pm
Wednesday:	7:00am – 7:00pm
Thursday:	7:00am – 7:00pm
Friday:	7:00am 7:00pm
Saturday:	8:30am – 12:00pm

Body in Motion also recognizes a number of religious and federal holidays, such as New Years Day, the Fourth of July, Labor Day, Thanksgiving, and Christmas, and therefore will be closed on said holidays.

Body in Motion PT
 Personal Training | Physical Therapy | Sports | Massage
 542 West Campus Drive. Arlington Heights, IL 60004



Total Number of Employees

Due to the personalized and appointment only nature of Body in Motion's business, there are no need for a large number of employees. Body in motion supports a staff of just two full-time personal trainers, and one part-time employee.

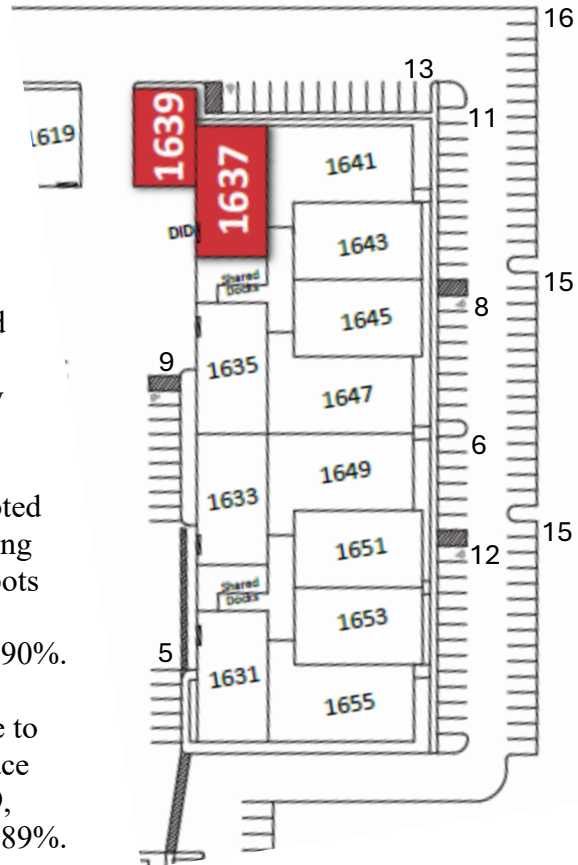
Total Number of Parking Spaces Provided

Due to the personalized and by appointment only standard of the Body in Motion business practice, clients are evenly spaced out throughout the day. This allows for a steady and consistent flow of clients using the allocated parking spaces.

With 2-3 employees at any given time, the most clients that would ever be on premises would also be 2-3. No more than 6 total parking spaces would ever be used at any given time for the Body in Motion Facilities.

The building has 110 parking spaces, as noted by the adjacent site plan, with the number of parking spots labeled for each parking tree. 110 parking spots averages 8.46 parking spots per unit (13 total), of which Body in Motion would only use at most 70.90%.

With a GLA of 42,733sf, this would equate to one parking space for every 389 square feet of space leased, or 8.97 parking spaces for units 1637-1639, which Body in Motion would only use at most 66.89%.



Expected Improvements to be made to the site or interior of the building

Expected improvements to spaces will be minimal at best. As far as any changes to the layout of the space are concerned, there will be none. The current offices, bathrooms, and warehouse space are ideal for a use like that of Body in Motion, and is part of the reason for selecting this site. No Demolition or construction will be done to the space.

For the warehouse portion of the space, Body in Motion will plan on reusing their existing gym flooring from their current location and having it installed here. The flooring is a

Body in Motion PT

Personal Training | Physical Therapy | Sports | Massage
542 West Campus Drive. Arlington Heights, IL 60004



rubberized material that is easily and quickly installed with no major contracting needs or specialized, harmful, or disruptive installation methods required.

There will also be some minor cosmetic adjustments to the space, no more intensive than painting, decoration, and moving in trade fixtures, such as computers, workout equipment, and recovery equipment. All of which does not require any specialized power ratings or engineering.

Thank you for taking the time to review my narrative on Body in Motion PT. I know any time a special use is required for new business a lot of questions inevitably come up, and members of the community have concerns. I hope I have thoroughly answered any questions and put to rest any concerns you may have. Please feel free to reach out should there be any that I did not, I am happy to discuss further about why I believe Body in motion will make a great addition (again) to the Buffalo Grove community.

I look forward to hearing back from you, and to an exciting journey once again becoming a member of the Buffalo Grove business community.

Best regards,

Sara Miranda
Owner
Body in Motion PT
(847) 840-4287

Attachment: 1637-1639 Barclay Blvd - Plan Set (1637-1639 Barclay Blvd - SU)

VILLAGE OF BUFFALO GROVE



During your testimony at the Public Hearing, you need to testify and present your case for the Special Use being requested. In doing so, you need to address the six (6) Special Use Standards listed below:

SPECIAL USE STANDARDS

1. The special use will serve the public convenience at the location of the subject property; or the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

Response: Our passion here at BIM is for helping individuals in there fitness related endeavors. We take special care of our clientele by paying attention to detail and generally caring about the results. Your results are what drive us to be better. In 13 years in the business of personal training we are proud to say that our safe environment has provided everything you need to achieve success.

2. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with said special use, the size of the subject property in relation to such special use, and the location of the site with respect to streets giving access to it shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located.

Response: Body in motion is a fitness studio that has a core value to serve the community by providing safe, healthy fitness programs that improve the quality of life and well-being of the Buffalo Grove community.

3. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations with the neighborhood.

Response: Body in motion is a fitness studio that specializes in one and one personal training. The equipment used and the fitness programs all take place indoors in this property. Due to the fact that we train one on one with our cliental there is minimal arrival and departure traffic creating a peaceful environment for neighboring business.

4. The nature, location and size of the buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie.

Response: All of body in motion personal training sessions takes place indoors. Having the rubber gym floor absorbs any foot traffic or equipment noise which will not interference and affect any neighboring businesses own development.

5. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided.

Response: Body in motion will have electric and gas utilities that comply with the property and buffalo grove village codes.

6. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance, and minimize traffic congestion in the public streets.

Response: Parking spaces will be allocated to this property to cover the potential total amount of personal trainers and there perspective client attending a single visit which will minimize any traffic congestion.



Body in Motion PT
Parking Analysis
 Sara Miranda – Owner

Thank you for taking the time to review our parking analysis regarding parking needs at 1637-1639 Barclay Blvd. We understand there are many questions and concerns regarding parking availability when any recreational facility looks to secure a special permit for a potential location at a property zoned for industrial and flex space type uses.

In this analysis, we will be reviewing the property in which we are applying for a special permit, parking capabilities of said property, Body in Motion's parking needs, and implications of our parking needs on the parking capacity of the property as a whole.

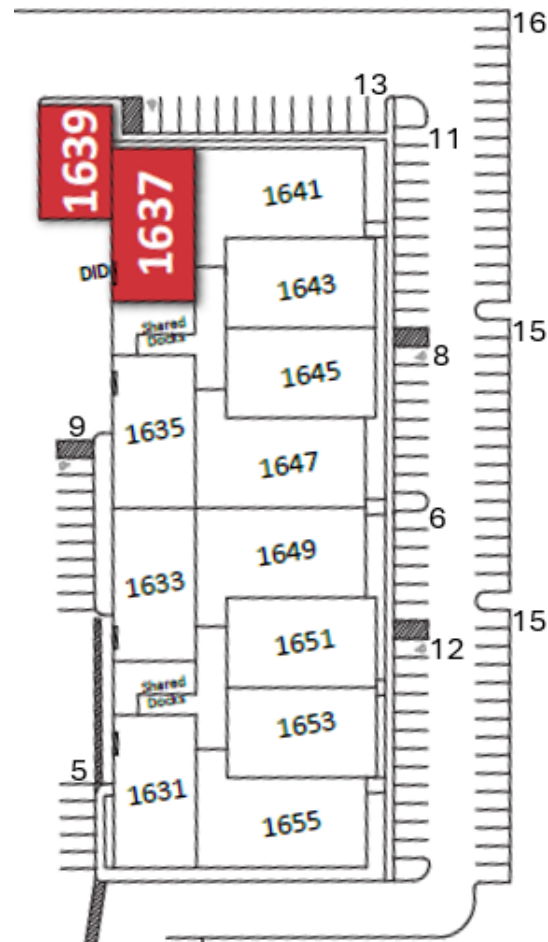
First, let's begin by examining the property in which we are looking to open our business and will be applying for a special permit for. The property is located at 1631-1655 Barclay Blvd. Buffalo Grove, IL 60089, and is a 42,773 square foot building that is part of the Buffalo Grove Commerce Park.

The subject property has 10 parking trees, with 110 parking spaces total, for a parking ratio of 2.57/1,000 square feet.

This parking ratio would equate to 8.97 parking spaces for units 1637-1639. However, we cannot use fractional parking spaces, so we will round down to the nearest whole parking space, giving us 8 spaces for the units in question.

We could also average the number of parking spaces across the total number of units, regardless of square footage. This would equate to 8.46 spaces per unit ($110 \div 13$). Again, we will round down to the nearest whole parking space, leaving us with, again, 8 parking spaces.

Now that we can agree that 8 parking spaces is the reasonable and equitable number allocated to units 1637-1639, let's take into consideration the other tenant's parking usage.

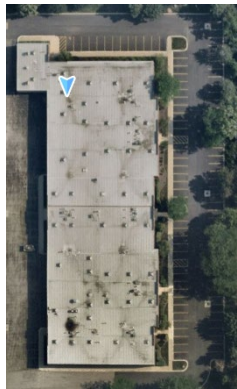
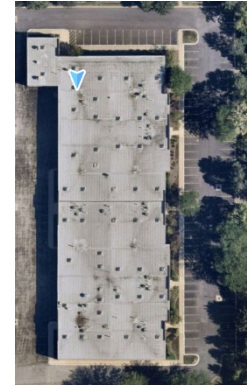


Attachment: 1637-1639 Barclay Blvd - Plan Set (1637-1639 Barclay Blvd - SU)



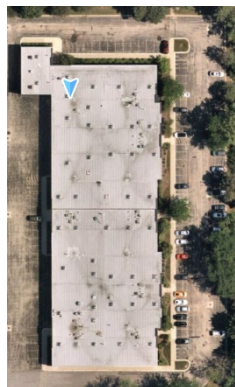
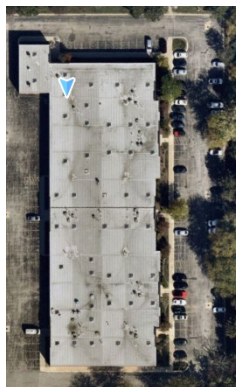
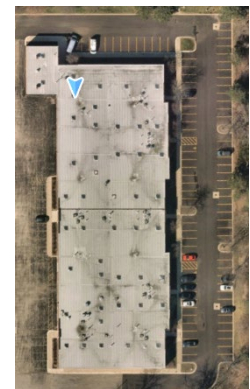
We have taken the liberty of compiling a number of historical satellite photographs to show historical use of the parking spaces at the subject property, in descending chronological order, for the past 2 years. Scaled copies of all the photographs will be included as exhibits at the end of the Parking Analysis for easier review.

The picture to the right (Exhibit B) was taken on Saturday, September 2, 2023. We can see that there are no visible cars in the photograph. We can, however, for the sake of argument, say that there are cars, and they are only parked in spaces covered by the shade or trees and therefore difficult to see. In this hypothetical instance, we can see, at the very least, 76 unobstructed and visibly empty parking spaces, mostly on the North, West, and interior East side of the building. So, we could assume that 34 parking spaces (30.90%) of the total 110 are being used, at the very most.



The picture to the left (Exhibit C) was taken on Monday, July 3, 2023. Again, we can see minimal use of the parking lot. Making the same assumption as in the previous example, there are 80 unobstructed and empty parking spaces, and therefore, at most, 30 parking spaces (27.27%) are being used. With that being said, we will recognize that given the date the photograph was taken, the day before the 4th of July, that many of the employees at the property were given off, and therefore, parking would be light.

Recognizing that the previous example taken the day before the celebration of our country's independence may not be the best example given the low workplace attendance, note the picture to the right (Exhibit D), which was taken on Friday, April 7, 2023. Here we can clearly see that there are 13 cars in the parking lot, using only 11.81% of the parking spaces provided. Again, this shows the low parking intensity of the other tenants at the property, therefore giving us reason to safely assume that the other tenants do not and will not require additional parking spaces, which would be further strained by a tenancy by Body in Motion.



Further examples provided to the left (from left to right) are aerial photographs taken on Monday, October 3, 2022 (Exhibit E), and Thursday, July 14, 2022 (Exhibit F). Here we can see that the number of parking spaces visibly empty are 39 (35.45%) and 57 (51.81%), respectively.

We would also note that in the historical evidence provided, there are never more than two cars parked in the North side parking tree of 13 spaces, which would be the closest and most likely spaces Body in Motion's clients would use.

Now that we are in agreement that no other tenants need an excessive amount of parking spaces beyond the proportional share provided to tenants, and historical evidence supports a sizable amount of vacant parking spaces at any given time, we know that there is no concern that parking is already at, or even close to capacity.

Let's see how the parking needs of Body in Motion compare to the parking provided at the subject property.

While being classified as a recreational facility that falls in the fitness category may sound like a commercial gym, we need to first get a better understanding of what the Body in Motion business actually is, and isn't, to thoroughly understand their parking needs.

Body in Motion is a private, appointment only, client based fitness studio that specializes in personal training, physical therapy, sports training, and offers recovery services to their clients. These services are provided by 2 full time and 1 part time staff members. A further in depth review of the business can be found in the Narrative provided in our submittal package.

What Body in Motion is not, is a commercial style gym where customers come and go as they please at any hour of the day, any day of the week. Body in Motion should not be compared to a commercial membership based gym, like an Anytime Fitness or Orange Theory, because Body in Motion is not a low overhead health club where you find a large room with some equipment scattered throughout and customers left to their own devices.

Body in Motion, being client focused for a personalized training experience, is by appointment only. Therefore, Body in Motion staff know exactly who is coming, when they are coming, and how long they are staying. Being client focused for personalized training, Body in Motion only sees a small number of clients throughout the day as well.

With only up to 3 staff members, there would only ever be up to 3 clients. It is important to note that the part time 3rd employee is only scheduled on Saturdays, therefore only up to 3 clients using 6 parking spaces would be during Saturdays only, a day when little to no other employees are even on site.

It is important to note that peak hours for Body in Motion are mornings and evenings, times before other employees arrive at the property and after they leave the property, further reducing any potential strain on parking.

Recalling our earlier discussion on the proportional and equitable distribution of parking spaces for each unit, rounded to 8 for both methods, we can see that even at peak hours where Body in Motion would have the most parking spaces taken up at any given time, they would still only use 75% of those allocated to them. Furthermore, this would only be on Saturdays, a time when other tenants are not on the premises.

After reviewing the parking capabilities of the subject property, current parking usage, Body in Motion's parking needs, and implications of our parking needs on the parking capacity

of the property as a whole, we can safely determine that Body in Motion will not adversely affect the current parking resources at 1631-1655 Barclay Blvd. and there is no need for concern regarding a potential lack of parking at the property. In no conceivable realistic scenario would Body in Motion's parking needs become a detriment to the surrounding businesses, as the parking capacity of the property is more than capable of handling the additional parking needs of Body in Motion, who's needs are less than what would be allocated to any other business.

Thank you for taking the time to review my parking analysis for Body in Motion in regards to space at 1631-1655 Barclay Blvd. I hope I have thoroughly answered any questions and put to rest any concerns you may have. Please feel free to reach out should there be any that I did not, I am happy to discuss further about why I believe Body in motion will make a great addition (again) to the Buffalo Grove community.

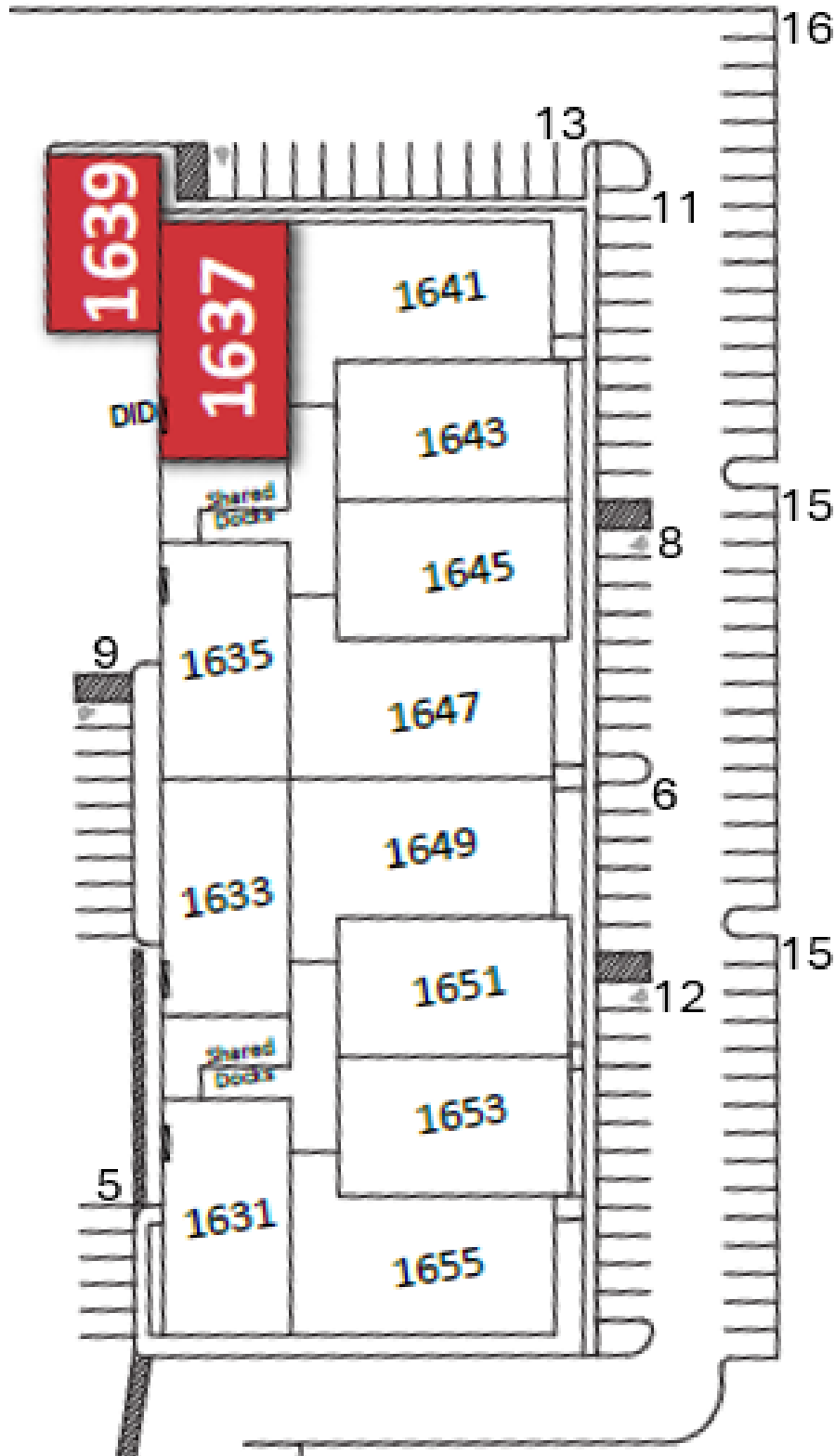
I look forward to hearing back from you, and to an exciting journey once again becoming a member of the Buffalo Grove business community.

Best regards,

Sara Miranda
Owner
Body in Motion PT
(847) 840-4287

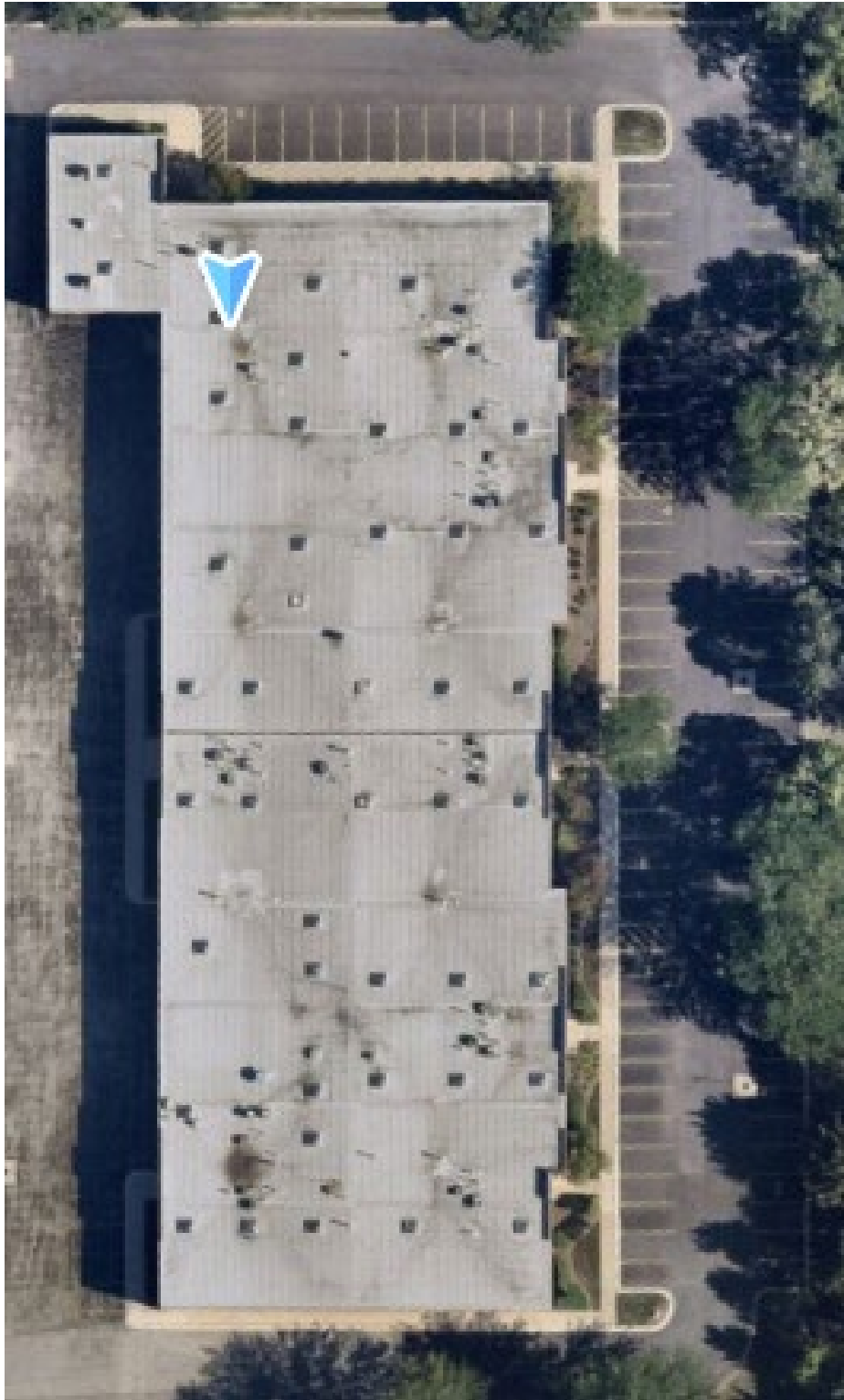
Attachment: 1637-1639 Barclay Blvd - Plan Set (1637-1639 Barclay Blvd - SU)

Exhibit A
Site Plan and Parking Field



Attachment: 1637-1639 Barclay Blvd - Plan Set (1637-1639 Barclay Blvd - SU)

Exhibit B
Aerial Photograph of Used Parking Spaces
Taken Saturday, September 2, 2023

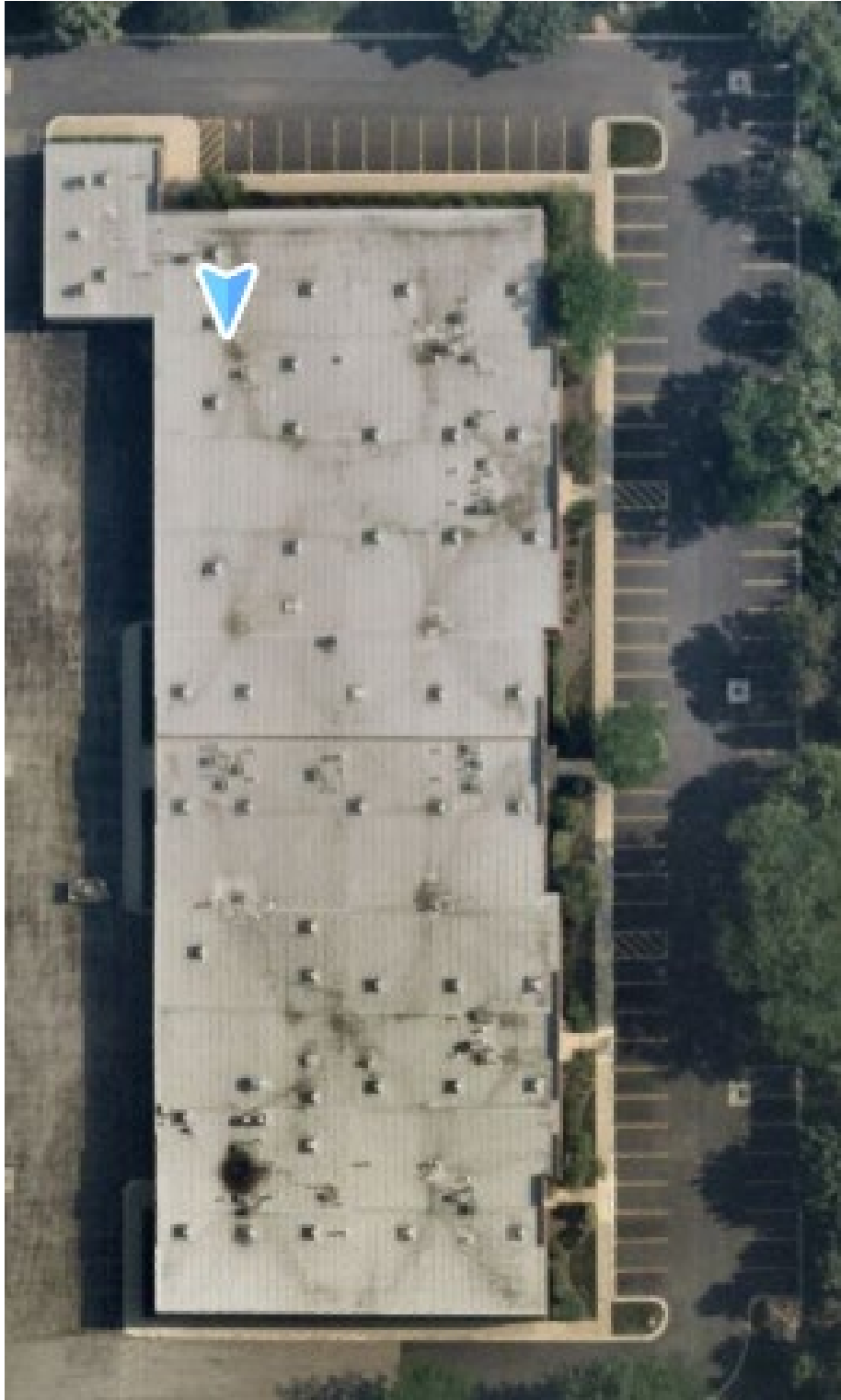


Attachment: 1637-1639 Barclay Blvd - Plan Set (1637-1639 Barclay Blvd - SU)

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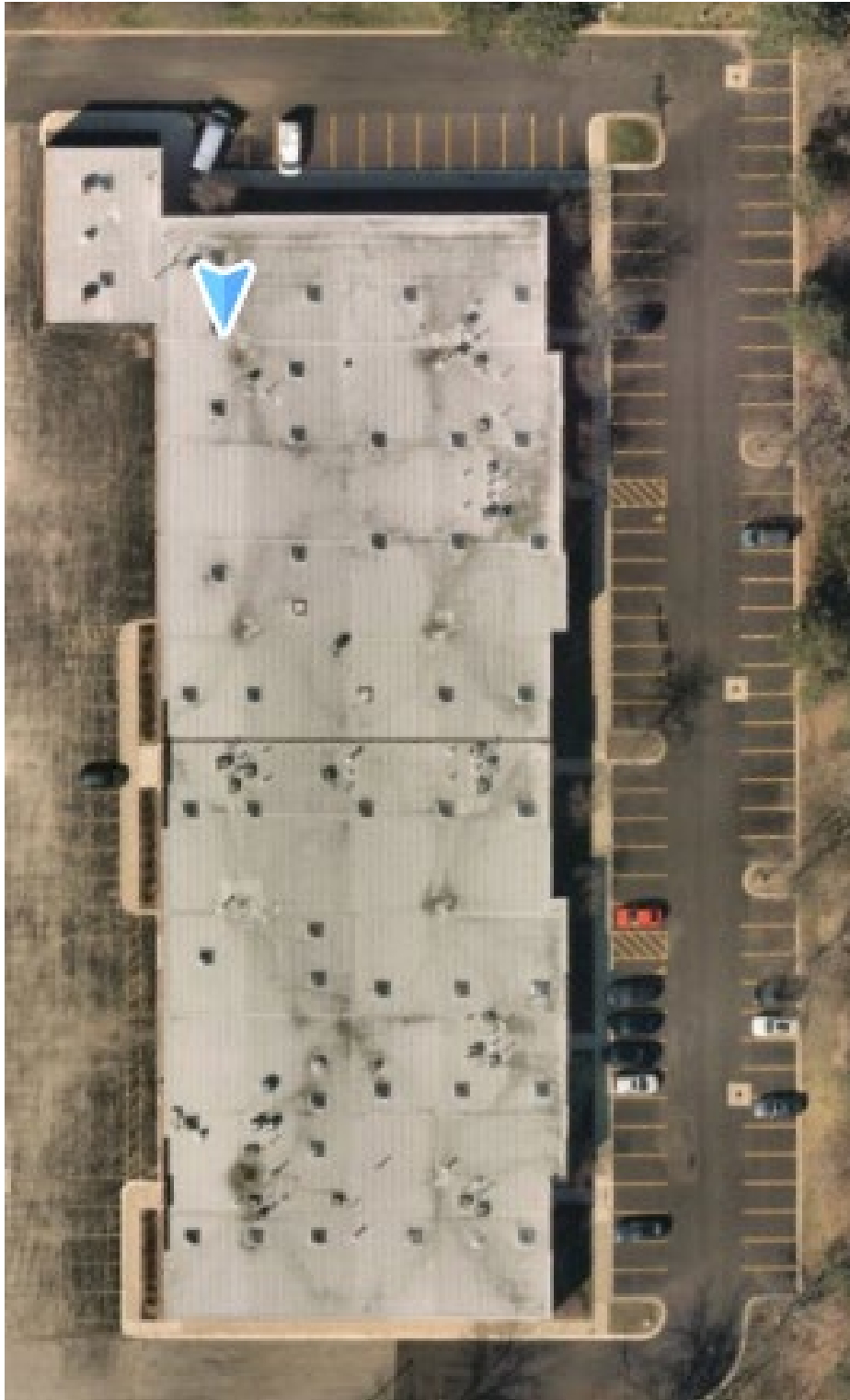


Exhibit C
Aerial Photograph of Used Parking Spaces
Taken Monday, July 3, 2023



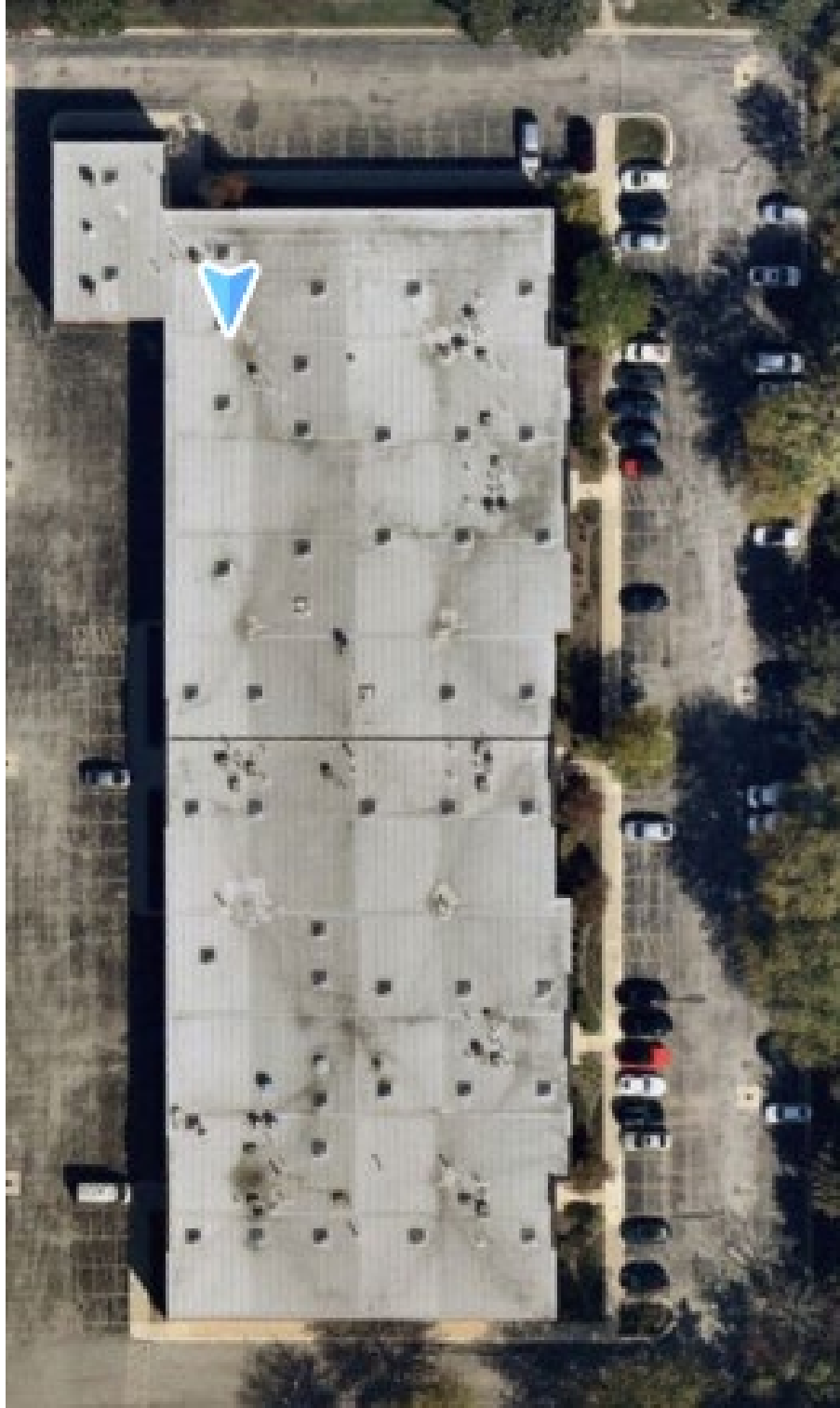
Attachment: 1637-1639 Barclay Blvd - Plan Set (1637-1639 Barclay Blvd - SU)

Exhibit D
Aerial Photograph of Used Parking Spaces
Taken Friday, April 7, 2023



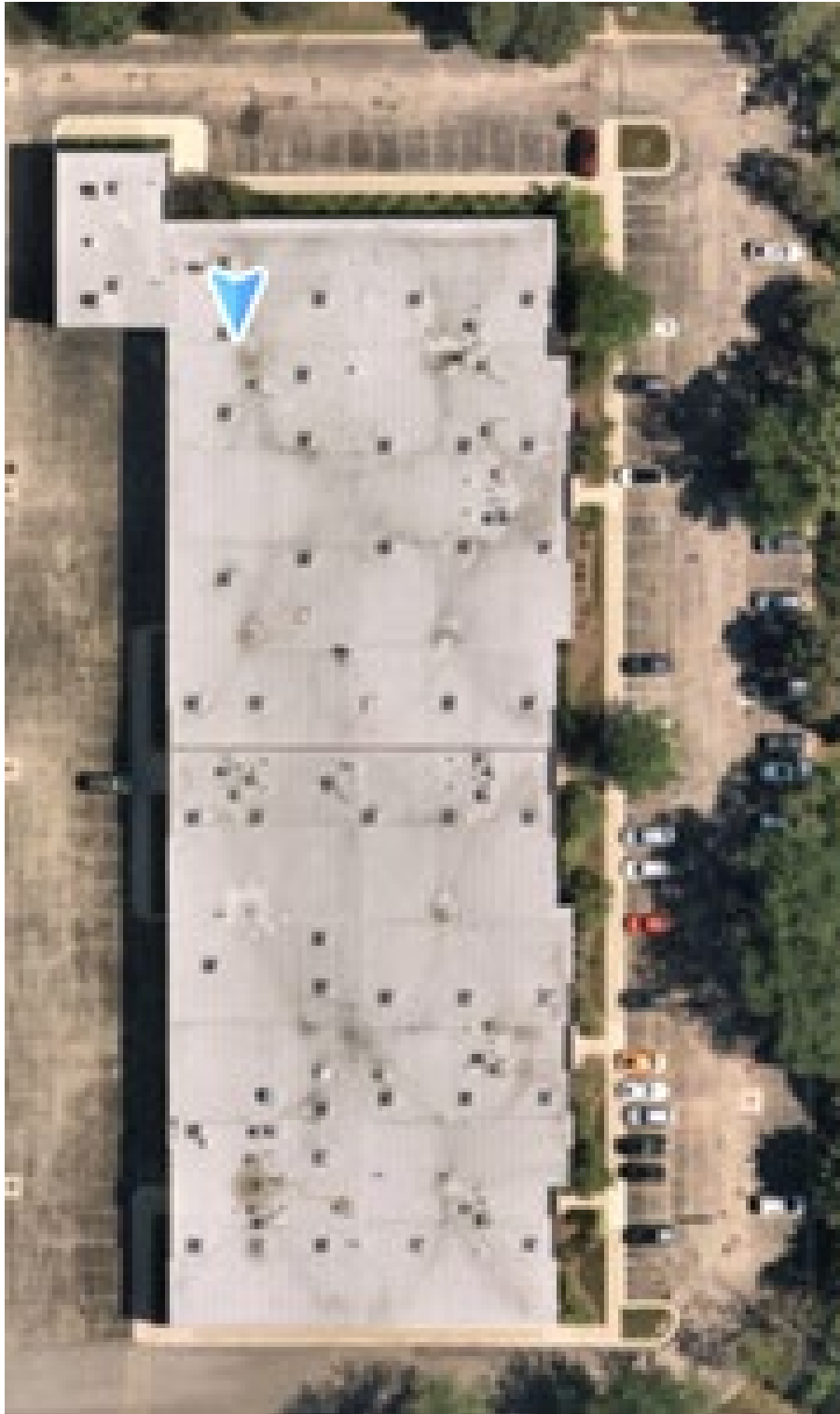
Attachment: 1637-1639 Barclay Blvd - Plan Set (1637-1639 Barclay Blvd - SU)

Exhibit D
Aerial Photograph of Used Parking Spaces
Taken Monday, October 3, 2022



Attachment: 1637-1639 Barclay Blvd - Plan Set (1637-1639 Barclay Blvd - SU)

Exhibit F
Aerial Photograph of Used Parking Spaces
Taken Thursday, July 14, 2022



Attachment: 1637-1639 Barclay Blvd - Plan Set (1637-1639 Barclay Blvd - SU)

Buffalo Grove Commerce Park

BARCLAY BLVD & APTAKISIC RD, BUFFALO GROVE, ILLINOIS

UNIT 1637-1639 | 3,492 SF

OFFICE AREA
50%

LOADING
1 Drive-In Door

AVAILABLE
Immediate

NET RENT
STO

TAXES
\$2.31

OPEX
\$1.72



BARCLAY BLVD

APTAKISIC ROAD



OWNED & MANAGED BY

WESTMOUNT
REALTY CAPITAL, LLC

STOCKBRIDGE
CAPITAL GROUP, LLC

Contact

Mark Baumhart, CCIM

+1 630 691 0550

mbaumhart@hiffman.com

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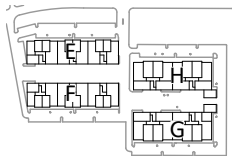
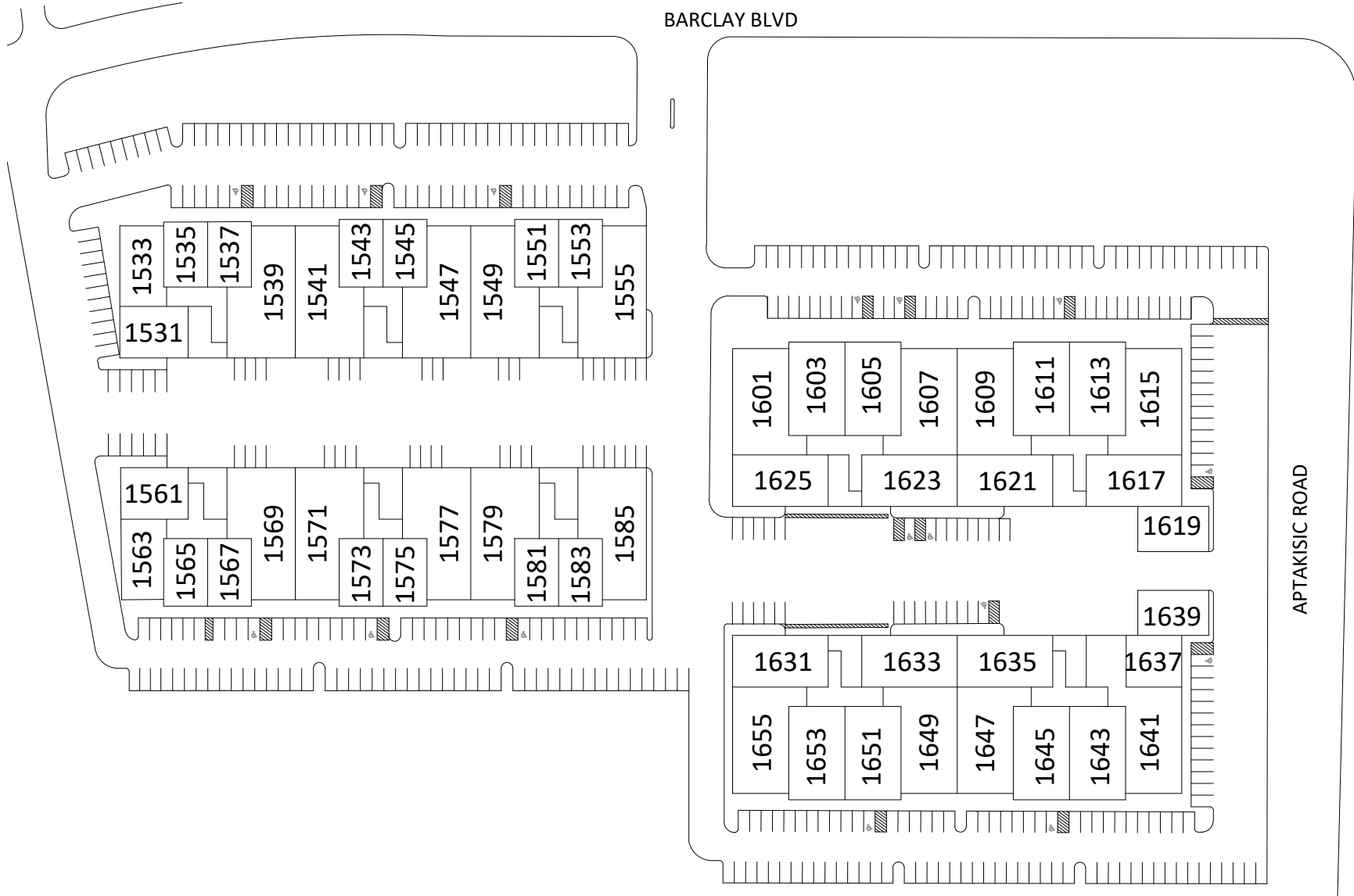
Oakbrook Terrace, Illinois 60181

hiffman.com

Packet Pg. 74

Attachment: 1637-1639 Barclay Blvd - Plan Set (1637-1639 Barclay Blvd - SU)

1531-1639 BARCLAY BOULEVARD, BUFFALO GROVE IL 60089



0 40 80
scale: 1/128" = 1'-0"

SITE PLAN



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designhaus
architecture

860 lively boulevard elk grove village, illinois 60007
p: 847.593.5010 f: 847.593.5012 www.dhausarch.com

proj: 20.027
date: 01.13.21
rev: 02

MK1.0

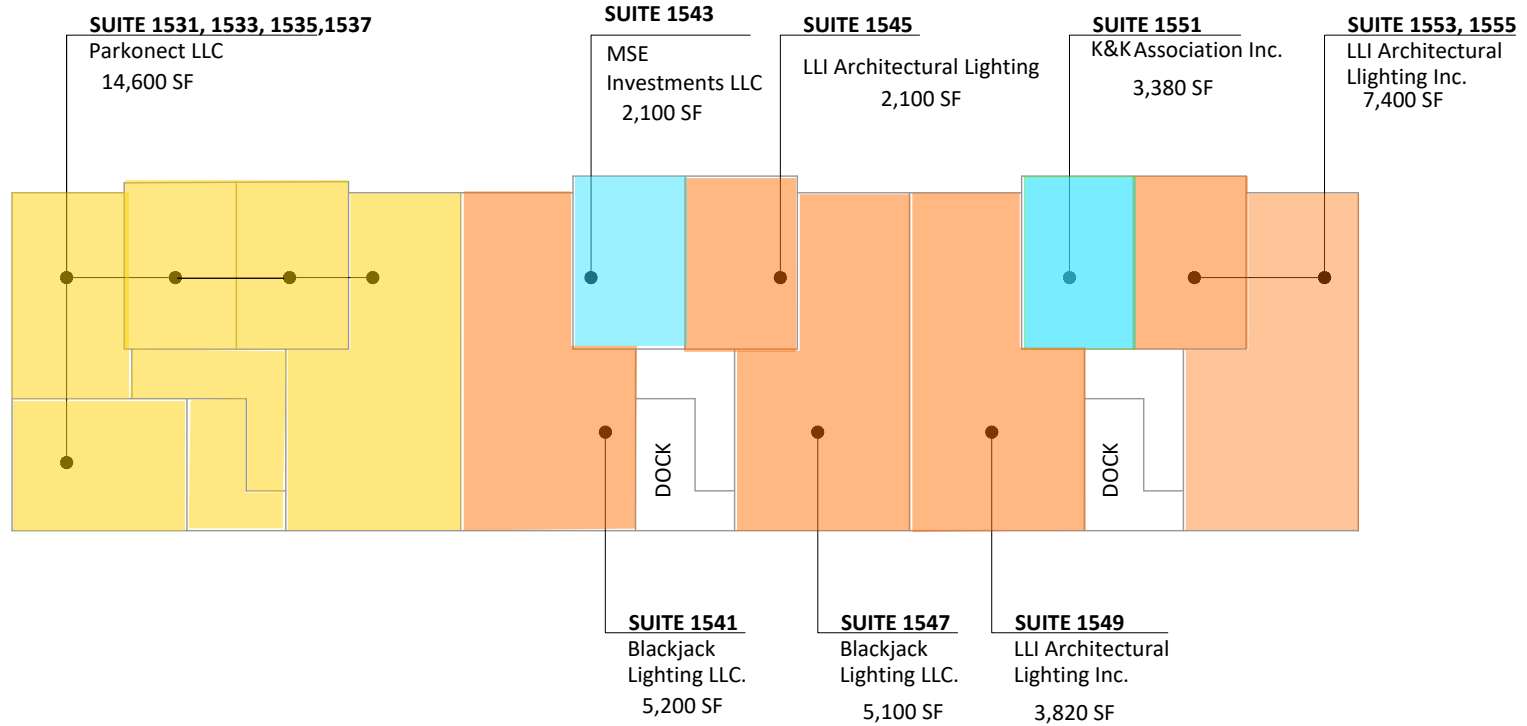
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Attachment: 1637-1639 Barclay Blvd - Plan Set (1637-1639 Barclay Blvd - SU)

1531-1555 BARCLAY BOULEVARD, BUFFALO GROVE IL 60089



LEASE TERMINATION YEAR

- 2024
- 2025
- 2026
- 2027 & LATER
- VACANT

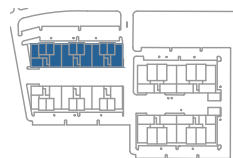
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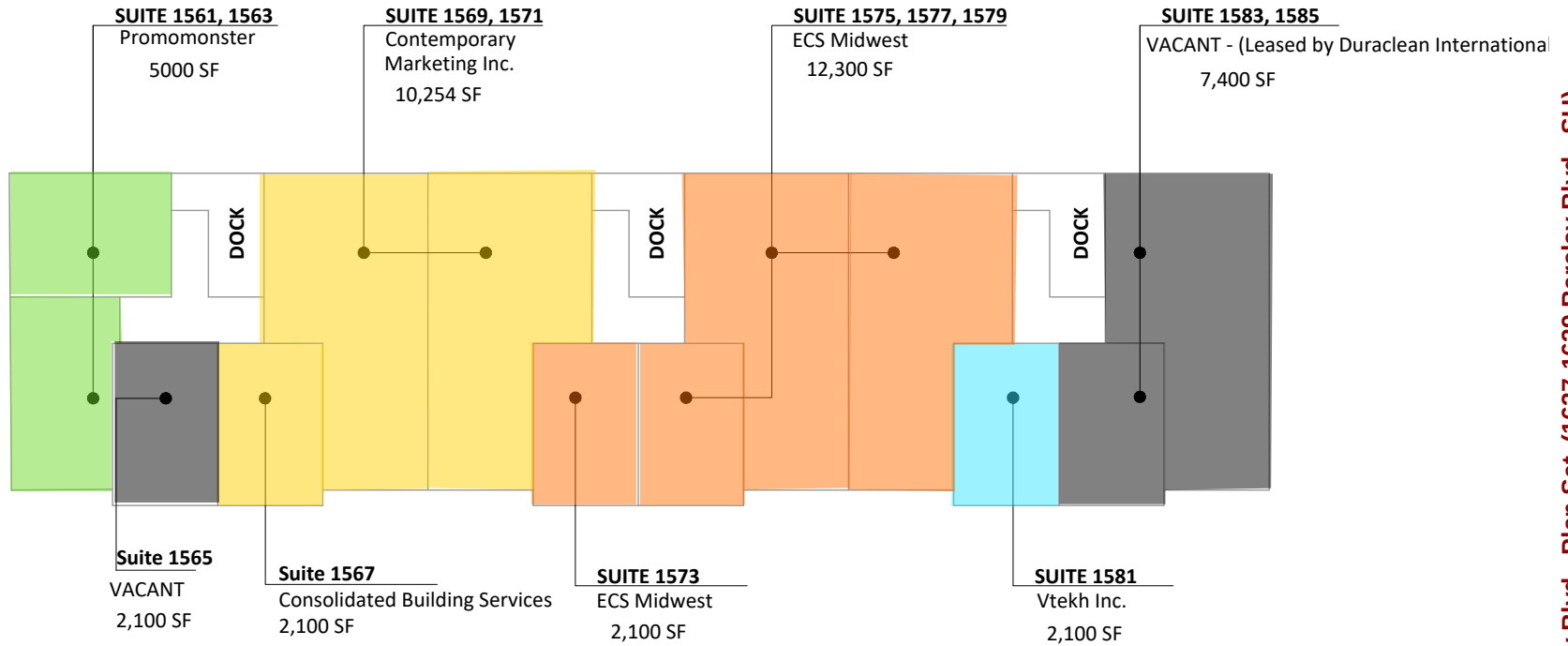
BUILDING PLAN



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Attachment: 1637-1639 Barclay Blvd - Plan Set (1637-1639 Barclay Blvd - SU)

1561-1585 BARCLAY BOULEVARD, BUFFALO GROVE IL 60089



LEASE TERMINATION YEAR

- 2024
- 2025
- 2026
- 2027 & LATER
- VACANT

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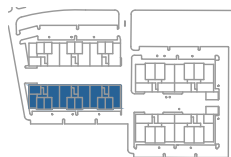
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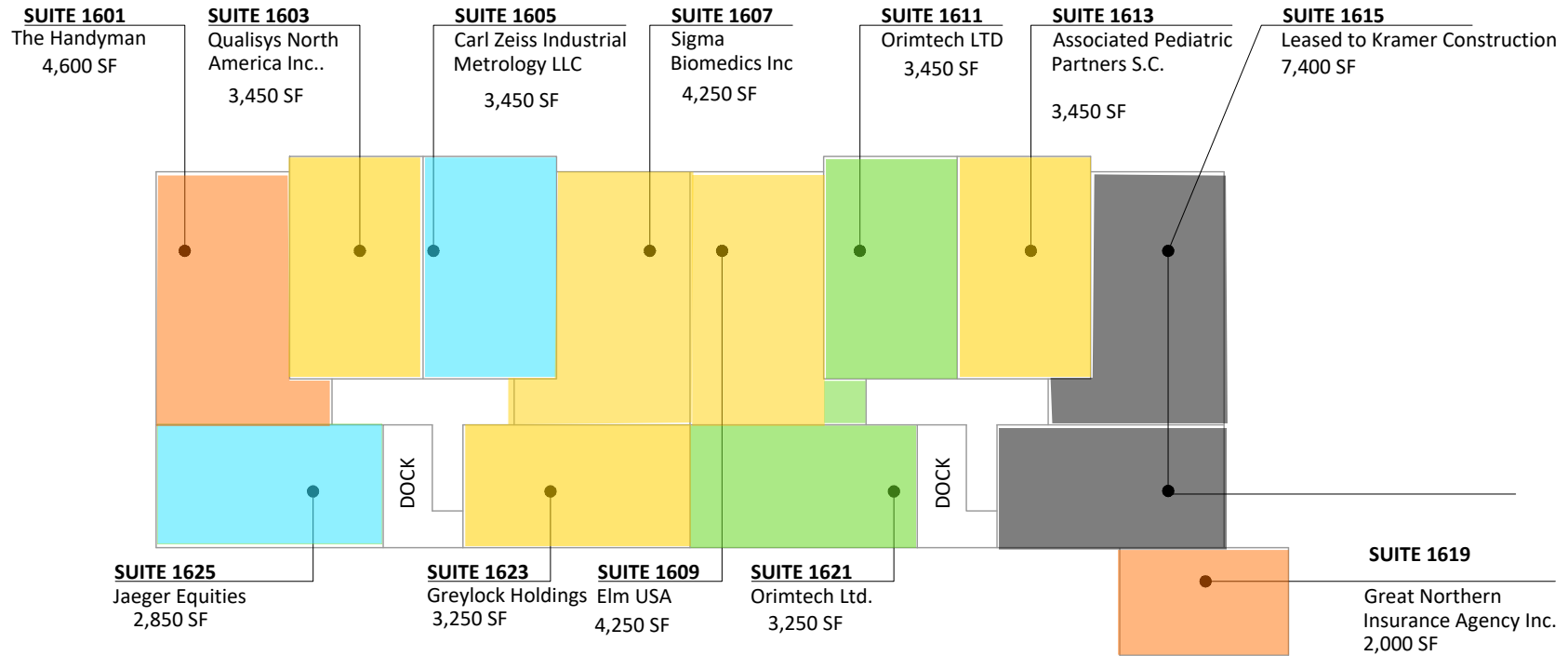
BUILDING PLAN



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Attachment: 1637-1639 Barclay Blvd - Plan Set (1637-1639 Barclay Blvd - SU)

1601-1625 BARCLAY BOULEVARD, BUFFALO GROVE IL 60089



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- 2024
- 2025
- 2026
- 2027 & LATER
- VACANT

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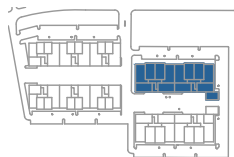
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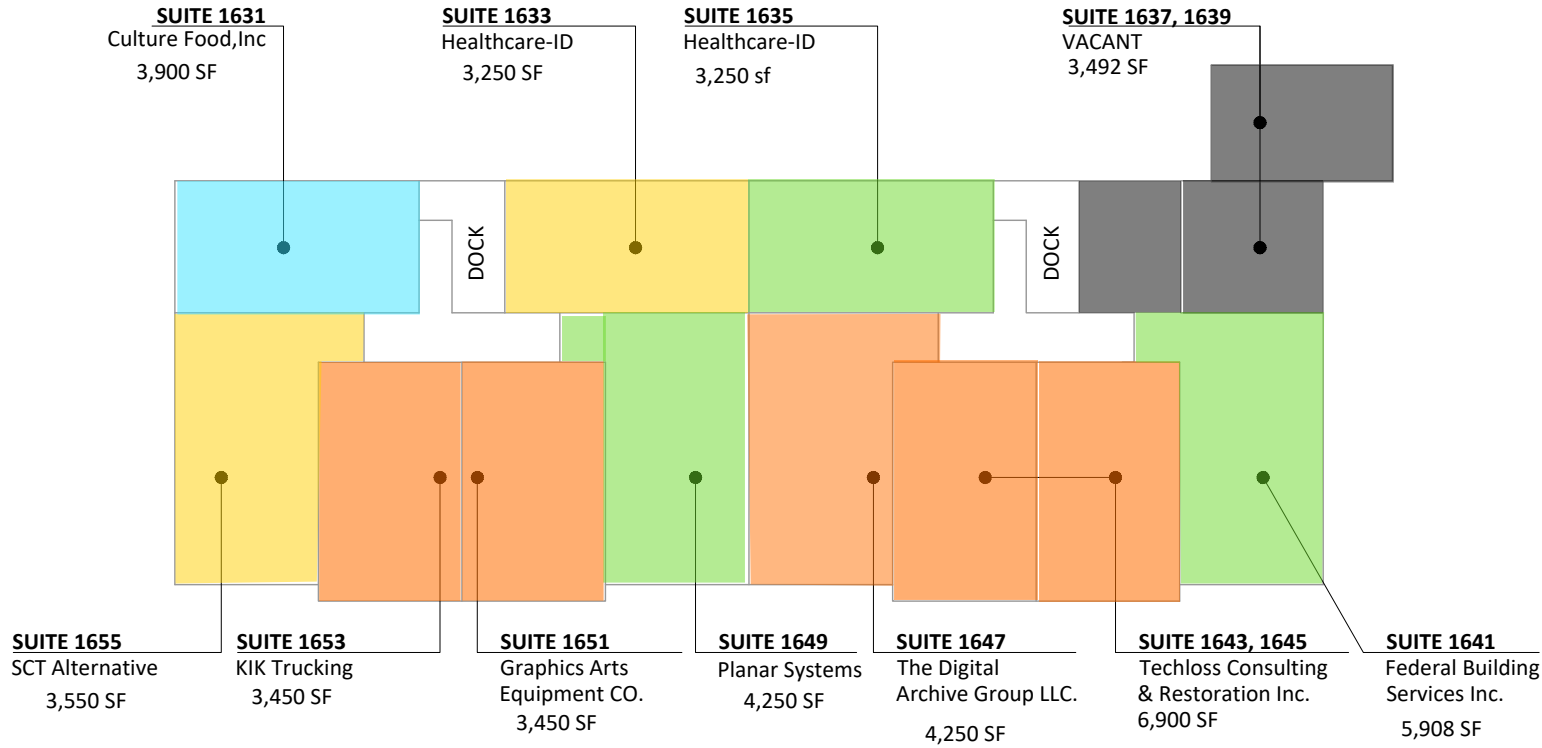
BUILDING PLAN



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Attachment: 1637-1639 Barclay Blvd - Plan Set (1637-1639 Barclay Blvd - SU)

1631-1655 BARCLAY BOULEVARD, BUFFALO GROVE IL 60089



LEASE TERMINATION YEAR

- 2024
- 2025
- 2026
- 2027 & LATER
- VACANT

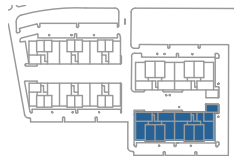
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05/1/2024

**MINUTES OF THE REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION OF THE
VILLAGE OF BUFFALO GROVE HELD IN THE COUNCIL CHAMBERS, 50 RAUPP BOULEVARD,
BUFFALO GROVE, ILLINOIS ON WEDNESDAY, MAY 1, 2024**

Call to Order

The meeting was called to order at 7:30 PM by Chair Mitchell Weinstein

Public Hearings/Items For Consideration

1. Consideration of a Variation to the Fence Code, Section 15.20.040, for the Purpose of Installing an 8-Foot Fence on the Property Line Along Buffalo Grove Road at 3 River Oaks Circle E. (Trustee Weidenfeld) (Staff Contact: Andrew Binder)

Associate Planner Binder provided an overview of the property background and the requested Fence Variation.

Young Koh, property owner and petitioner was sworn in. Koh indicated that he wants an 8-foot fence so that it will match what all of his neighbors have. He noted that he was originally part of the petition for a variation several years ago, but did not move forward due to costs.

Com. Worlikar asked what is meant by legally non-conforming.

Binder explained that the existing fence does not meet current code requirements but was permitted to be constructed as it is today. It is likely there was a code change that resulted in the fence not conforming to current codes.

Com. Worlikar asked why the ZBA originally denied the fence request for the neighbors.

Purvis indicated that the minutes were not very specific but indicated that there was not a sufficient hardship to allow the 8-foot fences.

Com. Spunt indicated that the 6-foot fence blew down in a storm last month.

Koh confirmed that was the case.

Com. Spunt noted that the pictures are not current.

Chairperson Weinstein asked the petitioner why the Zoning Board denied the original request years ago.

Koh indicated that it wasn't denied.

Minutes Acceptance: Minutes of May 1, 2024 7:30 PM (Approval of Minutes)

05/1/2024

Chairperson Weinstein noted that the Village Board ultimately approved the requests, but that the Zoning Board was not in support. He asked the petitioner if he knew the reason why.

Koh responded he did not.

Com. Saxena asked what problem the 8-foot fence solves for the petitioner.

Koh responded that the 8-foot fence will look better because it will match his neighbors' fences and will also reduce noise.

Com. Saxena asked why his neighbors would be happy about the 8-foot fence.

Koh indicated that they wanted him to replace his 6-foot fence long ago when their 8-foot fences were installed.

Chairperson Weinstein asked the petitioner to confirm, he wants an 8-foot fence so that it will look more consistent with the neighborhood.

Koh confirmed.

Chairperson Weinstein asked if the 8-foot fence would cost more than replacing the 6-foot fence.

Koh indicated that it would.

Com Au asked if the new fence would be board on board or if it would be a solid fence.

Binder indicated it would be a solid fence, that will match the neighboring properties.

The staff report was entered into the record as Exhibit 1

The public hearing was closed.

Com. Richards made a motion to grant a variation to Section 15.20 of the Buffalo Grove Fence Code to allow the installation of an 8-foot solid wood fence that exceeds the maximum height of a corner side yard fence, is not of an open style, and encroaches beyond the minimum required setback for a fence within the corner side yard along Buffalo Grove Road at 3 River Oaks Circle, provided the fence shall be installed in accordance with the documents and plans submitted as part of this petition, and that the fence will not extend any further than the existing fence along Buffalo Grove Road.

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Com. Davis seconded the motion.

Chairperson Weinstein spoke in favor of the variation. He indicated he would not normally be in favor of an 8-foot fence, however it was already approved for the neighbors. It is consistent with what is there and will look better than what currently exists.

Com. Spunt agreed that the 8-foot fence will look nicer and match the other fences in the area and will help with the noise.

RESULT:	APPROVED [UNANIMOUS]
AYES:	Spunt, Weinstein, Au, Richards, Worlikar, Davis, Saxena
ABSENT:	Adam Moodhe

Regular Meeting

Other Matters for Discussion

Approval of Minutes

1. Planning and Zoning Commission - Regular Meeting - Apr 17, 2024 7:30 PM

Motion to approve by Com. Richards and seconded by Com. Spunt.

RESULT:	ACCEPTED [5 TO 0]
AYES:	Spunt, Weinstein, Richards, Worlikar, Davis
ABSTAIN:	Amy Au, Sujat Saxena
ABSENT:	Adam Moodhe

Chairman's Report

Chairman Weinstein spoke about the Chairperson's Forum he and Vice Chair Richards attended in April, which was hosted by the American Planning Association. They learned about how other communities run meetings. He indicated that many communities have less detailed reports and the staff report comes at the end of the meeting rather than the beginning.

Vice Chairman Richards indicated his appreciation for Buffalo Grove's staff.

Committee and Liaison Reports

Vice Chair Richards spoke about the excitement of the Bison Crossing groundbreaking earlier that day.

Staff Report/Future Agenda Schedule

Purvis indicated that the Commission should expect to have meetings for the rest of May and all of June, and noted that the May 15th agenda will have 3 cases on it for consideration.

Public Comments and Questions

None

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Adjournment

The meeting was adjourned at 7:51 PM

Kelly Purvis

APPROVED BY ME THIS 1st DAY OF May, 2024

Mitchell Weinstein, Commissioner

Minutes Acceptance: Minutes of May 1, 2024 7:30 PM (Approval of Minutes)