



# Meeting of the Village of Buffalo Grove Planning and Zoning Commission

Regular Meeting  
December 6, 2023 at 7:30 PM

Fifty Raupp Blvd  
Buffalo Grove, IL 60089-2100  
Phone: 847-459-2500

## **I. Call to Order**

## **II. Public Hearings/Items For Consideration**

Public Comment is limited to items that are not on the regular agenda. In accordance with Section 2.02.070 of the Municipal Code, discussion on questions from the audience will be limited to 5 minutes and should be limited to concerns or comments regarding issues that are relevant to Planning and Zoning Commission business. All members of the public addressing the Planning and Zoning Commission shall maintain proper decorum and refrain from making disrespectful remarks or comments relating to individuals. Speakers shall use every attempt to not be repetitive of points that have been made by others. The Planning and Zoning Commission may refer any matter of public comment to the Village Manager, Village staff or an appropriate agency for review.

1. Consider an Amendment to Special Use Ordinance No. 2013-25, Which Approved a Special Use to Allow K1 Speed, Inc. to Operate an Indoor Kart Racing Recreation Facility, Including Food and Beverage Sales, to Modify the Ordinance to Transfer the Food and Beverage Service Operations to a Separate Entity Within the Existing Building Located at 301 Hastings Drive (Trustee Weidenfeld) (Staff Contact: Andrew Binder)
2. Consideration of a Petition to the Village of Buffalo Grove for Approval of a Plat of Consolidation, a Zoning Map Amendment, a Preliminary Plan, an Amendment to the Special Use Approved by Ordinance No. 2017-035, and Variations from R-E District Requirements Related to Building Setbacks and Building Height, to Accommodate Proposed Building Additions on the Properties Located at 1231 Weiland Road and 1351 Abbot Court (Trustee Weidenfeld) (Staff Contact: Kelly Purvis)

## **III. Regular Meeting**

### **A. Other Matters for Discussion**

### **B. Approval of Minutes**

1. Planning and Zoning Commission - Regular Meeting - Nov 15, 2023 7:30 PM

### **C. Chairman's Report**

### **D. Committee and Liaison Reports**

### **E. Staff Report/Future Agenda Schedule**

### **F. Public Comments and Questions**

Public Comment is limited to items that are not on the regular agenda. In accordance with Section 2.02.070 of the Municipal Code, discussion on questions from the audience will be limited to 5 minutes and should be limited to concerns or comments regarding issues that are relevant to Planning and Zoning Commission business. All members of the public addressing the Planning and Zoning Commission shall maintain proper decorum and refrain from making disrespectful remarks or comments relating to

individuals. Speakers shall use every attempt to not be repetitive of points that have been made by others. The Planning and Zoning Commission may refer any matter of public comment to the Village Manager, Village staff or an appropriate agency for review.

#### **IV. Adjournment**

The Planning and Zoning Commission will make every effort to accommodate all items on the agenda by 10:30 p.m. The Board, does, however, reserve the right to defer consideration of matters to another meeting should the discussion run past 10:30 p.m.

*The Village of Buffalo Grove, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities, contact the ADA Coordinator at 459-2525 to allow the Village to make reasonable accommodations for those persons.*



**Action Item : Consider an Amendment to Special Use Ordinance No. 2013-25, Which Approved a Special Use to Allow K1 Speed, Inc. to Operate an Indoor Kart Racing Recreation Facility, Including Food and Beverage Sales, to Modify the Ordinance to Transfer the Food and Beverage Service Operations to a Separate Entity Within the Existing Building Located at 301 Hastings Drive**

#### **Recommendation of Action**

Staff recommends approval, subject to the conditions in the attached Staff Report.

K1 Speed, Inc. is requesting to modify the current Special Use Ordinance 2013-25. The request is specifically to transfer the food and beverage service operations to Paddock Lounge, LLC, which will operate out of the same building at 301 Hastings Drive. The requested amendment will not change any of the business operations, only the food and beverage service provider.

#### **ATTACHMENTS:**

- 301 Hastings Dr - Staff Report (PDF)
- 301 Hastings Dr - Plan Set (PDF)

**Trustee Liaison**  
Weidenfeld

**Staff Contact**  
Andrew Binder, Community Development

Wednesday, December 6,  
2023

**VILLAGE OF BUFFALO GROVE  
PLANNING & ZONING COMMISSION  
STAFF REPORT**

**MEETING DATE:** December 6, 2023

**SUBJECT PROPERTY LOCATION:** 301 Hastings Drive, Buffalo Grove, IL 60089

**PETITIONER:** K1 Speed, Inc.

**PREPARED BY:** Andrew Binder, Associate Planner

**REQUEST:** Petition to the Village of Buffalo Grove requesting an amendment to Ordinance No. 2013-25, which approved a Special Use to allow K1 Speed, Inc. to operate an indoor kart racing recreation facility, including food and beverage sales, to modify the ordinance to transfer the food and beverage service operations to a separate entity within the existing building located at 301 Hastings Drive.

**EXISTING LAND USE AND ZONING:** The property is improved with an 85,300-square-foot building in the “I” Industrial Zoning District.

**COMPREHENSIVE PLAN:** The Village Comprehensive Plan calls for this property to be Industrial.

**PROJECT OVERVIEW**

K1 Speed, Inc. has submitted a request to modify the current Special Use Ordinance 2013-25. The request is specifically to transfer the food and beverage service operations to Paddock Lounge, LLC, which will operate out of the same building at 301 Hastings Drive. The original Special Use Ordinance No. 2013-25 allowed K1 Speed, Inc. to operate an indoor kart racing recreation facility and specified that K1 Speed, Inc. would be the operator and the entity responsible for food and beverage services. The requested amendment will not change any of the business operations, only the food and beverage service provider.



Figure 1: Subject Property

Pursuant to the Zoning Ordinance, a recreational facility is a Special Use in the Industrial District.

**PLANNING & ZONING ANALYSIS**

**Operations and Use**

- K1 Speed is a nationwide business that offers indoor electric go-kart racing with accessory uses such as a pro shop, coin-operated amusement devices, pool tables, and food and beverage sales. The business also offers space for group outings and corporate events.
- The restaurant takes up 7% of the floor space in the K1 Speed facility.
- The proposed amendment to the Special Use would allow Paddock Lounge, LLC to provide all food and beverage services as long as K1 Speed is in operation at the subject property. Paddock Lounge provides food and beverage services at K1’s other locations nationwide.
- There will be no changes to K1 Speed’s business, restaurant operations, floor plan, or business hours. Paddock Lounge LLC, will employ all restaurant staff.

**DEPARTMENTAL REVIEWS**

| Village Department | Comments                                                                       |
|--------------------|--------------------------------------------------------------------------------|
| Building           | The Building Division has reviewed the request and does not have any concerns. |



**STANDARDS**

Pursuant to the Zoning Ordinance, the proposed change in the provider for the food and beverage operations does require an amendment to the Special Use. The Planning & Zoning Commission shall make a recommendation to the Village Board regarding the amendment, based upon the following criteria:

1. The special use will serve the public convenience at the location of the subject property; or the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with said special use, the size of the subject property in relation to such special use, and the location of the site with respect to streets giving access to it shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located;
3. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations with the neighborhood;
4. The nature, location and size of the buildings or structures involved with the establishment of the special use will not impede, substantially hinder or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;
5. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;
6. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance and minimize traffic congestion in the public streets.

*The petitioner's responses to the standards are included in the attached packet.*

**SURROUNDING PROPERTY OWNERS**

Pursuant to Village Code, the contiguous property owners were notified by mail and a public hearing sign was posted on the subject property. The posting of the public hearing sign and the mailing of the notifications were both completed within the required timeframe. As of the date of this Staff Report, staff has not received any inquiries regarding the requested amendment to the Special Use.

**STAFF RECOMMENDATION**

Staff recommends **approval** of the amendment to the Special Use at 301 Hastings Drive, subject to the conditions listed in the PZC motion due to the following reasons:

1. The overall K1 Speed operations (hours, anticipated number of guests and employees, activities offered, etc.) will remain unchanged.
2. Paddock Lounge is the only food and beverage provider permitted and can only operate in the building so long as K1 Speed is the main user of the go-kart facility, preventing other food operators without a new amendment to the Special Use Ordinance.
3. K1 Speed has a track record of responsible business operations and food and alcohol service.
4. Paddock Lounge successfully services all of K1's other locations nationwide.

**ACTION REQUESTED**

The Planning & Zoning Commission (PZC) shall open the public hearing and take public testimony concerning the requested amendment to the Special Use to allow K1 Speed, Inc to transfer the food and beverage service operations to a separate entity, Paddock Lounge, at 301 Hastings Drive. The PZC shall make a recommendation to the Village Board regarding the requested amendment to the Special Use.

***Suggested PZC Motion***

*The PZC moves to make a positive recommendation to the Village Board to allow an amendment to Ordinance No. 2013-25, to modify the ordinance to transfer the food and beverage service operations to Paddock Lounge, LLC, within the existing building located at 301 Hastings Drive, subject to the following conditions:*

*1. Section 2 of Ordinance 2013-25 is hereby amended as follows:*

*F. The special use is granted to K1 Speed, Inc., however the food and beverage services may be transferred for operational purposes to Paddock Lounge LLC, as long as K1 Speed, Inc. maintains control over the main indoor karting center business. This special use does not run with the land.*

*2. All references, conditions, and obligations to the Property in Ordinance 2013-25, not otherwise amended by this amendment, shall remain in full force and effect.*

**ATTACHMENTS**

- Petitioner's Narrative Statement
- Petitioner's Response to the Special Use Standards
- Floor Plan
- Ordinance 2013-25

## PROPOSED SPECIAL USE PERMIT AMENDMENT

PROPOSAL TO AMEND ORDINANCE 2013-25 – REVISE CONDITION F TO ALLOW OPERATION OF THE INTERNAL RESTAURANT TO BE A SEPARATE LEGAL ENTITY (PADDOCK LOUNGE LLC).

### PROJECT DESCRIPTION

The proposed project involves an amendment to the Village of Buffalo Grove Ordinance No. 2013-25, which was approved by the Buffalo Grove President and Board of Trustees on May 6, 2013. This ordinance approved a Special Use Permit for an indoor kart racing recreation facility, including food and beverage sales, within the existing building located at 301 Hastings Drive, in Buffalo Grove.

Condition F of Ordinance 2013-25 states as follows:

*F. The special use is granted to K1 Speed, Inc. and does not run with the land.*

K1 Speed Inc. is requesting that this condition be revised to read:

*F. The special use is granted to K1 Speed, Inc., however the food and beverage services may be transferred for operational purposes to Paddock Lounge LLC, as long as K1 Speed, Inc. maintains control over the main indoor karting center business. This special use does not run with the land.*

The above proposed re-wording of Condition F will not affect the appearance, functioning, scale, business operations or management of the existing K1 Speed center. The only change proposed is that K1 Speed, Inc. requests the opportunity to hire a separate company to operate the restaurant presently existing within the center. The restaurant is only a small fraction of the floor space (7%) of the K1 Speed center. There will be no noticeable change in the center or the restaurant operations. No change to the floor plan will result. No change in business hours will result. The new entity is Paddock Lounge LLC, which is the same company that operates all of the K1 Speed restaurants throughout the country. One minor change - the restaurant staff will be employees of Paddock Lounge LLC, rather than K1 Speed, Inc.

## VILLAGE OF BUFFALO GROVE



During your testimony at the Public Hearing, you need to testify and present your case for the Special Use being requested. In doing so, you need to address the six (6) Special Use Standards listed below:

### SPECIAL USE STANDARDS

1. The special use will serve the public convenience at the location of the subject property; or the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

**Response:** The proposed project only involves a change in the entity operating the restaurant presently existing within the K1 Speed center. The restaurant is only a small fraction of the floor space of our K1 Speed center. There will be no noticeable change in the center or the restaurant operations. With the exception of the restaurant entity change, no change to the existing Special Use Permit is proposed.

2. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with said special use, the size of the subject property in relation to such special use, and the location of the site with respect to streets giving access to it shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located;

**Response:** No change to the location, nature or intensity of the K1 Speed or the internal restaurant operations will result from the requested Special Use Permit Amendment request.

3. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations with the neighborhood;

**Response:** No perceptible change to the operations of the K1 Speed will result from the requested Special Use Permit Amendment request. The use will continue to be non-injurious to the use and enjoyment of other properties in the area. The change will have no impact on property values in the neighborhood.

4. The nature, location and size of the buildings or structures involved with the establishment of the special use will not impede, substantially hinder or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;

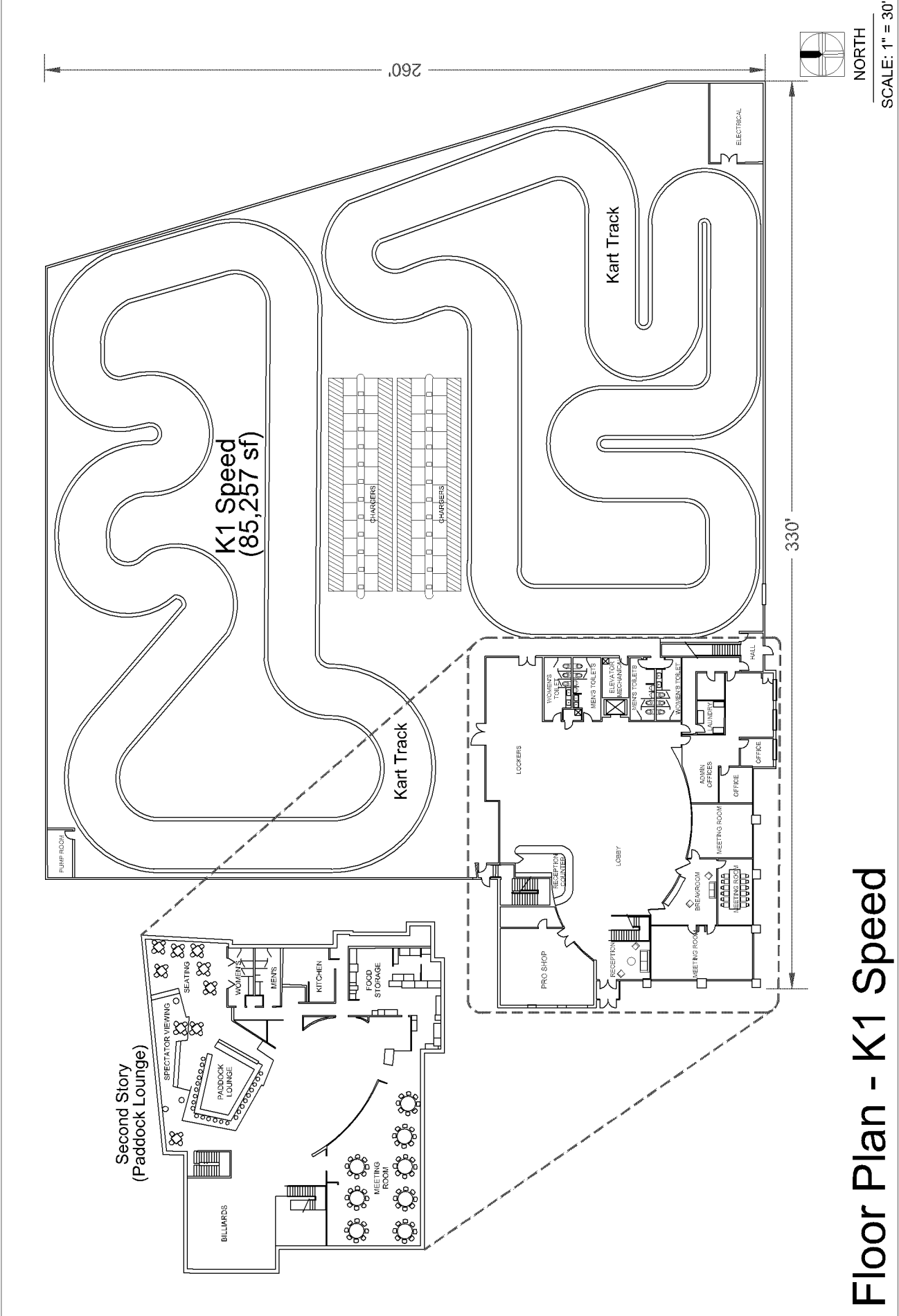
**Response:** No change to the location, size or other aspect of the structures on the property will take place. The Amendment will not impede, substantially hinder or discourage the development and use of adjacent land and buildings.

5. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;

**Response:** Adequate utilities, driveways, drainage and facilities will continue to be provided to the subject property. The special use permit amendment will have no effect at all on utilities and other public facilities.

6. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance and minimize traffic congestion in the public streets.

**Response:** No change to the onsite parking and entrances or exits to driveways will result from the proposed amendment. No additional traffic or increased congestion will result.



4/30/2013

**ORDINANCE NO. 2013 – 25**

**AN ORDINANCE APPROVING A  
SPECIAL USE IN THE INDUSTRIAL DISTRICT  
VILLAGE OF BUFFALO GROVE,  
COOK AND LAKE COUNTIES, ILLINOIS**

**K1 Speed, Inc.  
301 Hastings Drive  
Chevy Chase Business Park West**

WHEREAS, the Village of Buffalo Grove is a Home Rule Unit by virtue of the Illinois Constitution of 1970; and,

WHEREAS, the real property legally described in EXHIBIT A ("Property") attached hereto is zoned in the Industrial District; and,

WHEREAS, Chevy Chase Business Park Limited Partnership is the owner of the Property; and,

WHEREAS, the Village approved Ordinance No. 2003–26 granting a special use to Chicago Indoor Racing LLC to operate a recreation facility for indoor kart racing at the Property; and,

WHEREAS, Chicago Indoor Racing LLC has ceased operation of the recreation facility at the Property; and,

WHEREAS, K1 Speed, Inc. (hereinafter referred to as the "Petitioner") has assumed the operations at 301 Hastings Drive previously conducted by Chicago Indoor Racing LLC for the purpose of operating a facility for indoor kart racing and accessory uses, including a pro shop, food and beverage sales, coin-operated amusement devices and pool tables, in accordance with the terms set forth in this Ordinance; and,

WHEREAS, the Petitioner has represented that the proposed use by K1 Speed, Inc. will be substantially similar to the recreation facility previously operated by Chicago Indoor Racing LLC in the building on the Property, except that racing karts will be electric, not gas-powered; and,

WHEREAS, said recreational facility proposed by the Petitioner requires approval as a special use in the Industrial District; and,

WHEREAS, the proposed facility would be developed and operated in accordance with and pursuant to the following exhibits:

|           |                                                                 |
|-----------|-----------------------------------------------------------------|
| EXHIBIT A | Legal Description                                               |
| EXHIBIT B | Petitioner's Acceptance and Agreement concerning special use    |
| EXHIBIT C | Letter dated March 25, 2013 from David Danglard, K1 Speed, Inc. |

WHEREAS, notice of the public hearing concerning the petition for approval of the Special Use for K1 Speed, Inc. to operate a facility for indoor electric kart racing and accessory retail and entertainment uses on the Property was given and the public hearing was held by the Corporate Authorities; and

WHEREAS, the Village President and Board of Trustees after due and careful consideration have concluded that the development of the Property on the terms and conditions herein set forth would enable the Village to control development of the area and would serve the best interests of the Village.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF BUFFALO GROVE, COOK AND LAKE COUNTIES, ILLINOIS:

Section 1. This Ordinance is made pursuant to and in accordance with the Village's Zoning Ordinance, Development Ordinance and the Village's Home Rule powers. The preceding Whereas clauses are hereby made a part of this Ordinance.

Section 2. The Corporate Authorities hereby adopt a proper, valid and binding Ordinance approving a special use for operation of an indoor electric kart racing facility and accessory retail and entertainment uses, including a pro shop, food and beverage sales, coin-operated amusement devices and pool tables pursuant to the requirements of this Ordinance for the Property legally described in Exhibit A attached hereto, subject to the following conditions:



- A. The facility shall be used for an indoor electric kart racing facility and accessory retail and entertainment uses as represented in Exhibit C hereto presented by the Petitioner.
- B. The Petitioner shall have a management plan for the facility establishing protocols to ensure the safe handling and operation of electric karts by employees and customers on the Property. Said management plan is subject to Village review and approval, and shall be submitted to the Village prior to issuance of a certificate of occupancy.
- C. The hours of operation of the facility shall be:
  - Monday-Wednesday: 8:30 AM to 10:00 PM
  - Thursday: 8:30 AM to 11:00 PM
  - Friday-Saturday: 8:30 AM to 12:00 AM
  - Sunday: 8:30 AM to 10:00 PM
- D. No live entertainment shall be conducted on the Property without the prior express written approval by the Village.
- E. The facility shall be allowed to operate a maximum of thirty-six (36) coin-operated amusement devices in accordance with the applicable requirements of Chapter 5.12 of the Buffalo Grove Municipal Code. The installation of all said amusement devices is subject to Village review and issuance of permits and licenses.
- F. The special use is granted to K1 Speed, Inc. and does not run with the land.
- G. The special use granted to K1 Speed, Inc. is assignable to subsequent petitioners, seeking assignment of this special use as follows:
  - 1. Upon application of a petitioner seeking assignment of this special use, the Corporate Authorities, in their sole discretion, may refer said application of assignment to the appropriate commission(s) for a public hearing or may hold a public hearing at the Village Board.
  - 2. Such assignment shall be valid only upon the adoption of a proper, valid and binding ordinance by the Corporate Authorities granting said assignment, which may be granted or denied for any

reason.

- H. The Petitioner shall submit the executed Petitioner's Acceptance and Agreement attached hereto and incorporated herein as Exhibit B to the Village within fourteen (14) days of approval of this Ordinance.
- I. Exterior building appearance and signs on the Property are not approved by this Ordinance. Building appearance is subject to review pursuant to the Village Appearance Plan, and signs are subject to the Village Sign Code (Title 14 of the Buffalo Grove Municipal Code). No exterior building modifications shall be made, nor shall signs be installed prior to Village approval, and issuance of permits.

Section 3. This Ordinance shall be in full force and effect upon the submittal of the executed Petitioner's Acceptance and Agreement as set forth in Section 2.H. of this Ordinance. This Ordinance shall not be codified.

AYES: 5 – Trilling, Sussman, Terson, Stein, Ottenheimer

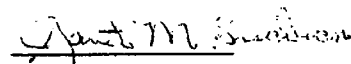
NAYS: 0 – None

ABSENT: 1 – Berman

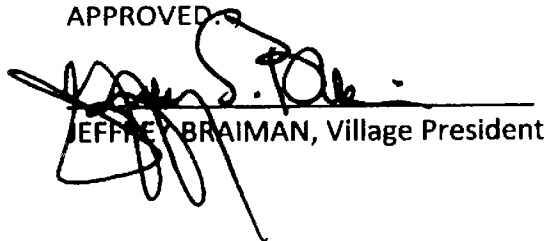
PASSED: May 6, 2013

APPROVED: May 6, 2013

ATTEST:

  
Village Clerk

APPROVED:

  
JEFFREY BRAIMAN, Village President

This document was prepared by:  
Robert E. Pfeil, Village Planner  
Village of Buffalo Grove, IL

Mail to:

Village Clerk  
Village of Buffalo Grove  
50 Raupp Boulevard  
Buffalo Grove, IL 60089

**EXHIBIT A****Legal Description**

**K1 Speed, Inc.  
301 Hastings Drive  
Chevy Chase Business Park West**

**SUBJECT PROPERTY LEGAL DESCRIPTION:** Lot 4 in Chevy Chase Business Park West Resubdivision being part of Columbian Gardens Unit No. 4, in part of the southeast quarter and the east one-half of the southwest quarter of Section 34, Township 43 North, Range 11 East of the Third Principal Meridian, according to the plat of said Chevy Chase Business Park Resubdivision, recorded April 13, 1989 as Document No. 2793188 in Lake County, Illinois.

**SUBJECT PROPERTY COMMON DESCRIPTION:** 301 Hastings Drive, Buffalo Grove, IL

**PINS:** 15-34-315-017 & 15-34-315-019

Attachment: 301 Hastings Dr - Plan Set (301 Hastings Dr - K1 Speed Amendment)

**EXHIBIT B**

**K1 Speed  
301 Hastings Drive  
Chevy Chase Business Park West**

**Petitioner Acceptance and Agreement concerning special use ordinance**

K1 Speed, Inc., acknowledges that it has read and understands all of the terms and provisions of Buffalo Grove Ordinance No. 2013-25 pertaining to the special use, and does hereby accept and agree to abide by and be bound by each of the terms, conditions and limitations of said Ordinance.

K1 Speed, Inc.

By: \_\_\_\_\_

Name (print): \_\_\_\_\_

Title: \_\_\_\_\_

The undersigned Owner acknowledges that it has read and understands all of the terms and provisions of said Buffalo Grove Ordinance No. 2013-25.

Owner: Chevy Chase Business Park Limited Partnership

By: \_\_\_\_\_

Name (print): \_\_\_\_\_

Title: \_\_\_\_\_

**Exhibit C****INDOOR KART RACING**

March 25, 2013

Village of Buffalo Grove  
50 Raupp Boulevard  
Buffalo Grove, IL 60089

To Whom It May Concern:

Founded in 2003, K1 Speed is the premier karting company in America with 14 locations nationwide. With kart racing centers in San Diego, Los Angeles, Santa Clara, Seattle, the Inland Empire, Fort Lauderdale, Sacramento, Austin, Houston, San Antonio and Phoenix, and several more facilities planned for the near future, K1 Speed brings the thrill and excitement of indoor karting to a large audience. Offering highly-advanced and environmentally-friendly electric karts as well as large indoor entertainment venues that feature authentic racing memorabilia, pit cafes, meeting rooms and pool tables, K1 Speed is a great place to visit with family and friends or to host a corporate event or party.

K1 Speed is buying the assets of Chicago Indoor Racing. Management and employees will remain the same. The operation will be run the same way, there are no changes planned.

There are no chemicals used in our operation. We will be using electric karts so there will be no gasoline stored on the premises.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Danglard'.

David Danglard  
CEO  
K1 Speed, Inc.  
K1 Speed-Illinois, Inc.

**K1SPEED.com**  
17221 Von Karman Ave., Irvine, CA 92614  
Phone: (949) 250-0242 Fax: (949) 335-9011  
**LOCATIONS NATIONWIDE**

Attachment: 301 Hastings Dr - Plan Set (301 Hastings Dr - K1 Speed Amendment)

STATE OF ILLINOIS ) ss.  
COUNTY OF COOK )

CERTIFICATE

I, Janet M. Sirabian, certify that I am the duly elected and acting Village Clerk of the Village of Buffalo Grove, Cook and Lake Counties, Illinois. I further certify that on May 6, 2013, the Corporate Authorities of the Village passed and approved Ordinance No. 2013-25, AN ORDINANCE APPROVING A SPECIAL USE IN THE INDUSTRIAL DISTRICT, VILLAGE OF BUFFALO GROVE, COOK AND LAKE COUNTIES, ILLINOIS, a copy of such Ordinance was posted in and at the Village Hall, commencing on May 7, 2013 and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the Office of Village Clerk.

Dated at Buffalo Grove, Illinois, this 7th day of May, 2013.

Janet M. Sirabian  
Village Clerk  
Chris Lieber  
By

Attachment: 301 Hastings Dr - Plan Set (301 Hastings Dr - K1 Speed Amendment)



**Action Item : Consideration of a Petition to the Village of Buffalo Grove for Approval of a Plat of Consolidation, a Zoning Map Amendment, a Preliminary Plan, an Amendment to the Special Use Approved by Ordinance No. 2017-035, and Variations from R-E District Requirements Related to Building Setbacks and Building Height, to Accommodate Proposed Building Additions on the Properties Located at 1231 Weiland Road and 1351 Abbot Court**

### **Recommendation of Action**

Staff recommends approval of the requests, subject to the conditions in the attached staff report.

School District 102 is proposing to connect Aptakisic Junior High School and the administrative office building (to the north) by constructing a 1,600 square foot building addition "link" between the two buildings. Connecting the two buildings will allow D102 to expand their classroom space into the administrative building and allow students to move between the two buildings without going outside. D102 is also proposing an exterior pedestrian bridge on the east side of the link addition and an 8,000 square foot gymnasium addition on the rear of the school (east elevation).

The Planning & Zoning Commission (PZC) shall open the public hearing and take public testimony concerning the requests to accommodate the proposed building additions on the properties located at 1231 Weiland Road and 1351 Abbot Court. The PZC shall make a recommendation to the Village Board concerning the requests.

### **ATTACHMENTS:**

- Staff Report - D102 (PDF)
- Plan Set (PDF)
- 2017-035 (PDF)

**Trustee Liaison**  
Weidenfeld

**Staff Contact**  
Kelly Purvis, Community Development

Wednesday, December 6,  
2023

**VILLAGE OF BUFFALO GROVE  
PLANNING & ZONING COMMISSION  
STAFF REPORT**

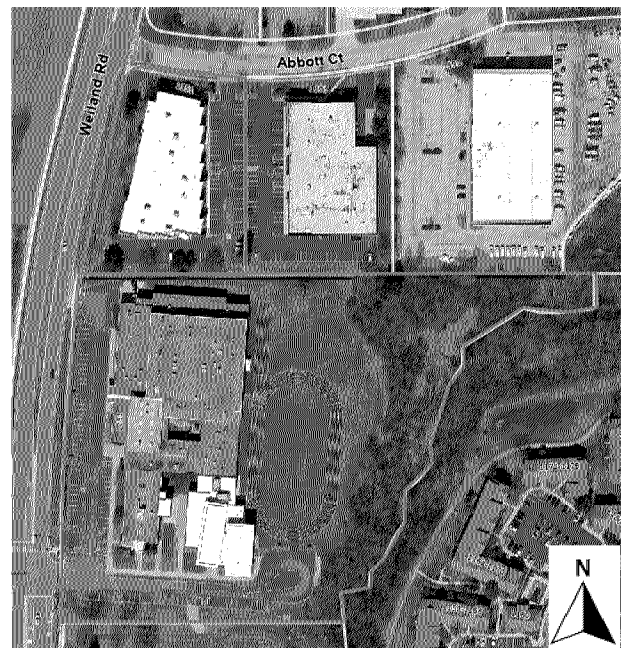


|                                      |                                                                                                                                                                                                                                                                                                                                                                                           |
|--------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>MEETING DATE:</b>                 | December 6, 2023                                                                                                                                                                                                                                                                                                                                                                          |
| <b>SUBJECT PROPERTY LOCATION:</b>    | 1231 Weiland Road & 1351 Abbot Court (Aptakisic Jr. High)                                                                                                                                                                                                                                                                                                                                 |
| <b>PETITIONER:</b>                   | Benjamin Bercher, Wold Architects on behalf of Aptakisic Tripp School District 102                                                                                                                                                                                                                                                                                                        |
| <b>PREPARED BY:</b>                  | Kelly Purvis, Deputy Community Development Director                                                                                                                                                                                                                                                                                                                                       |
| <b>REQUEST:</b>                      | Petition to the Village of Buffalo Grove for approval of a Plat of Consolidation, a Zoning Map Amendment, a Preliminary Plan, an Amendment to Ordinance No. 2017-035 which approved the Special Use for the school, and Variations from R-E District requirements related to building setbacks and building height, to accommodate proposed building additions on the subject properties. |
| <b>EXISTING LAND USE AND ZONING:</b> | The properties are currently improved with a public elementary school and District 102's administrative office building. The Jr. High School property is zoned R-E Residential District, and the administrative office building property is zoned I – Industrial District.                                                                                                                |
| <b>COMPREHENSIVE PLAN:</b>           | The 2009 Village of Buffalo Grove Comprehensive Plan calls for properties to be Public/Semi Public (School) and Industrial (Admin Office).                                                                                                                                                                                                                                                |

#### **BACKGROUND**

Benjamin Bercher of Wold Architects has petitioned the Village on behalf of School District 102 (D102) for approval of plans to improve Aptakisic Junior High School and their administrative offices. The school is located on approximately 9.35-acres of land on the east side of Weiland Road, just south of Abbot Court. The administrative offices are located on approximately 2.06-acres, directly north of the school on the corner of Weiland Road and Abbot Court (see Figure 1).

The School District is proposing to connect the school and administrative office building by constructing a 1,600 square foot building addition "link" between the two buildings. Connecting the two buildings will allow D102 to expand their classroom space into the administrative building and allow students to move between the two buildings without going outside. D102 is also proposing an exterior pedestrian bridge on the east side of the link addition and an 8,000 square foot



**Figure 1. Site Aerial – Existing Conditions**



gymnasium addition on the rear of the school (east elevation). The gymnasium addition will require a small modification to the outdoor track.

The improvements would accommodate existing programming needs for the current student population; they are not designed to accommodate an increase in the number of students.

As proposed, the project will require approval of a Plat of Consolidation, a Zoning Map Amendment, a preliminary plan, an amendment to the Special Use approved by Ordinance No. 2017-035, and variations from the R-E District regulations related to building setbacks and building height, to accommodate the proposed building additions. The following report provides a summary of the project and requests.

## **PLANNING & ZONING ANALYSIS**

### *Use:*

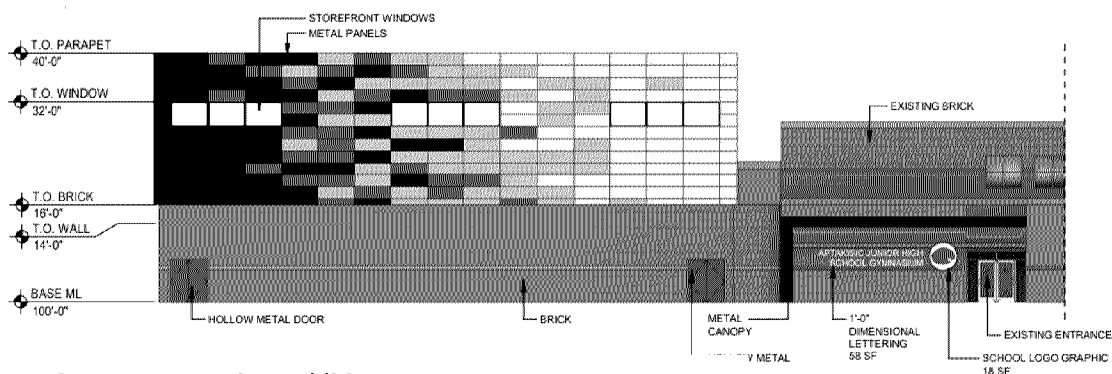
Schools are Special Uses in all residential districts. The proposed modifications to the site require an amendment to the Special Use that was granted in 2017. The 2009 Comprehensive Plan indicates that this site should remain Public/Semi Public (School) and Industrial (Admin Office).

### *Lot Consolidation & Map Amendment:*

Since the Junior High and the admin office building will be connected, the two lots are proposed to be consolidated into one lot. The property with the admin office building will be rezoned from I-Industrial District to R-E Residential District to be consistent with the zoning on the school lot.

### *Setbacks and bulk requirements:*

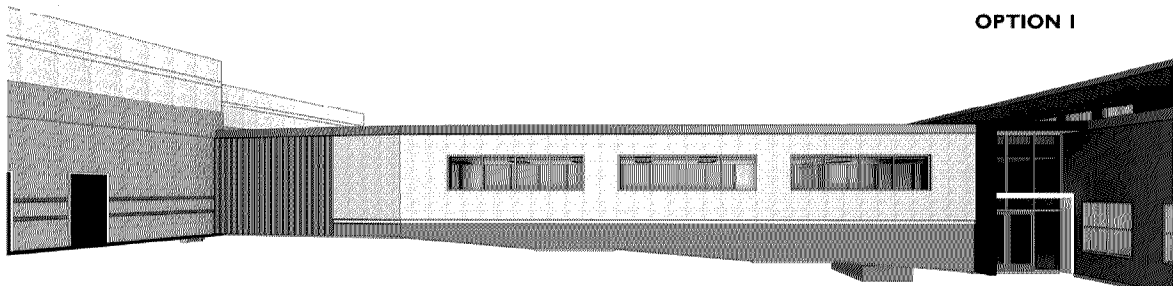
The consolidation of the two lots creates a wide lot width for the property (nearly 1,000 feet). The R-E District side yard setback requirement is 10% of the lot width, resulting in a side yard setback requirement of 100 feet in this case. The lot is much narrower at the rear of the school building; however, the same side yard setback requirement applies to the entire lot. The existing school building is approximately 30 feet from the north (side) property line and the proposed gymnasium addition will be placed approximately 48 feet from the north (side) property line, which requires variations. Staff is supportive of the variations, due to the shape of the lot and the existing location of the school building.



**Figure 2. Gymnasium Addition**

The gymnasium will also exceed the maximum permitted height of 35 feet for the R-E District. The proposed gymnasium will have a height of 40 feet to allow a safe clearance from the top of the retractable bleachers to the bottom of the roof structure. Staff is supportive of this request, as it is a necessary safety measure.

The admin office building is currently located in the I – Industrial District, which requires the building to have a 25-foot corner side yard setback along Abbot Court. As indicated above, the admin building will be rezoned to the R-E District, which has a greater corner side yard setback requirement. A variation will be needed to allow the admin building to remain 25 feet from the corner side property line where 50 feet is required. Staff is supportive of the request, as there will be no change to the admin building or further encroachment into the corner side yard.



**Figure 3. Building Link Addition – View Looking East**

The link building addition will comply with the district setback and height requirements and does not require any variations.

#### *Building Materials:*

The lower level of the proposed gymnasium addition will feature brick, similar to the existing brick on the school building. The second story of the gymnasium addition features multi-colored metal panels (in the school's colors) and provides an institutional feel to the design of the addition.

Being that the admin office building and the school building are constructed of different materials, the link building addition will be a blend of neutral brick and masonry materials designed to tie the two buildings together.

#### *Traffic:*

Eriksson Engineering Associates, Ltd., (EEA) observed the pick-up and drop-off operations at the school. Morning drop-off started at approximately 7:37 AM and lasted for 10 minutes. Parents queued on Weiland Road in the right northbound turn lane, while the left northbound thru lane remained clear enabling non-school traffic to pass. School bus traffic operated well.

After-school pickup lasted approximately 15 minutes, with some parents waiting for their children in parking lots adjacent to the school. Traffic on Weiland Road flowed smoothly without any observed parent queuing or issue with bus traffic.



**Figure 4. Traffic Circulation Exhibit**

The traffic analysis indicated that while it would be ideal to add space on-site for the morning parent queueing traffic, such modifications are not feasible at this time. Due to the nature of the

improvements, it is anticipated that there will be no significant change in the traffic volumes or flow around the school.

*Vehicular Access and circulation:*

The school has a full unsignalized access on the north side of the site and a full signalized access on the south part of the site. The administrative office building has a single unsignalized access point off of Abbot Court. As indicated in the attached traffic memo, parent drop-off/pick-up circulation takes place from the south driveway and the drive aisle south of the school. Bus traffic enters the site from the north access during morning drop-off and from the south access for afternoon pick-up. All bus traffic circulation takes place in the west parking lot drive aisles.

*Parking:*

There are no changes proposed to the parking on the school site. With the construction of the link building addition, 12 parking stalls will be removed from the admin office site. D102 plans to move the facilities department out of this campus, thereby eliminating the need for these 12 parking spaces.

*Landscaping:*

There will be no changes to the current landscaping on-site as part of the project.

*Lighting:*

New wall pack lighting is proposed on both additions. All lighting fixtures will be screened and will comply with the Village's illumination standards.

*Signage:*

D102 is proposing to install new wall signs on the gymnasium addition. Pursuant to the residential district sign regulations, signage for government agencies is subject to administrative approval. Village Administration has reviewed the proposed wall signs and does not have any concerns.

*Stormwater & Engineering:*

The Village's Engineers have reviewed the preliminary plans and do not have any concerns about the project meeting the stormwater and engineering requirements. A full stormwater report will be required to confirm that the project meets the Watershed Development Ordinance (WDO) requirements. These requirements will be reviewed more closely during final engineering.

Depending upon utility modifications associated with the project, plats of easement/vacation may be necessary to accommodate the project.

**DEPARTMENTAL REVIEWS**

| <b>Village Department</b> | <b>Comments</b>                                                                                     |
|---------------------------|-----------------------------------------------------------------------------------------------------|
| Engineering               | The Village Engineer has reviewed the preliminary engineering plans and does not have any concerns. |
| Fire                      | The Fire Department has reviewed the plans and does not have any concerns.                          |
| Building                  | The Building Division has reviewed the plans and does not have any concerns.                        |

**SURROUNDING PROPERTY OWNERS**

Pursuant to Village Code, the surrounding property owners within 250 feet were notified and a public hearing sign was posted on the subject property. The posting of the public hearing sign and the mailed notifications were completed within the prescribed timeframe as required. As of the date of this Staff Report, there have been no questions or concerns received by staff.

**STANDARDS****A. All special uses shall meet the following criteria:**

1. The special use will serve the public convenience at the location of the subject property; or the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with said special use, the size of the subject property in relation to such special use, and the location of the site with respect to streets giving access to it shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located;
3. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations with the neighborhood;
4. The nature, location and size of the buildings or structures involved with the establishment of the special use will not impede, substantially hinder, or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;
5. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;
6. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance and minimize traffic congestion in the public streets.

**B. The regulations of this title shall not be varied unless findings of fact are made based upon evidence presented at the hearing that:**

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the zoning district in which it is located except in the case of residential zoning districts;
2. The plight of the owner is due to unique circumstances;
3. The proposed variation(s) will not alter the essential character of the neighborhood.

*The petitioner's responses to each of the above standards are attached for the Commission's review.*

**STAFF RECOMMENDATION**

Staff recommends **approval** of a Plat of Consolidation, a Zoning Map Amendment, a Preliminary Plan, an amendment to the Special Use approved by Ordinance No. 2017-035, and Variations from R-E District requirements related to building setbacks and building height, to accommodate the proposed building additions on the properties, subject to the conditions in the suggested PZC Motion below due to the following reasons:

- The proposed improvements are designed to serve the existing programming needs for the current student population;
- The variations requested are reasonable and will not impact the character of the surrounding neighborhood.

**ACTION REQUESTED**

The Planning & Zoning Commission (PZC) shall open the public hearing and take public testimony concerning the requests for approval of a Plat of Consolidation, a Zoning Map Amendment, a Preliminary Plan, an amendment to the Special Use approved by Ordinance No. 2017-035, and Variations from R-E District requirements related to building setbacks and building height, to accommodate the proposed building additions on the properties located at 1231 Weiland Road and 1351 Abbot Court. The PZC shall make a recommendation to the Village Board concerning the requests.

***Suggested PZC Motion:***

*The PZC recommends approval of a Plat of Consolidation, a Zoning Map Amendment, a Preliminary Plan, an amendment to the Special Use approved by Ordinance No. 2017-035, and Variations from R-E District requirements related to building setbacks and building height, to accommodate proposed building additions on the subject properties located at 1231 Weiland Road and 1351 Abbot Court, subject to the following conditions:*

- 1. The proposed improvements shall be constructed in substantial conformance with the plans attached as part of the petition.*
- 2. The Final Engineering plans shall be submitted in a manner acceptable to the Village.*
- 3. Any directional or incidental signage added to the site shall be reviewed administratively by staff.*

**ATTACHMENTS**

- Narrative Description
- Plats of Survey
- Site Plans
- Elevations
- Floor Plans
- Preliminary Engineering Plans
- Photometric Plan
- Light Fixture Cut Sheets
- Traffic and Circulation Memo
- Response to Special Use & Variation Standards
- Ordinance 2017-035

November 10, 2023



**Kelly Purvis, AICP**  
**Deputy Community Development Director**  
 Village of Buffalo Grove  
 50 Raupp Boulevard  
 Buffalo Grove, Illinois 60089

Re: Aptakisic-Tripp School District #102  
 Junior High Gym Addition and Building Link  
 Commission No. 233026

Dear Ms. Kelly Purvis:

On behalf of Aptakisic-Tripp School District #102, we are pleased to present the attached documentation regarding the Special Use requests related to the Aptakisic-Tripp Junior High Gym Addition and building link project.

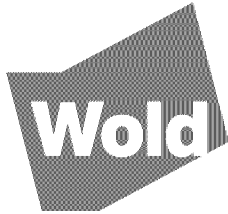
This past year, the School District passed a referendum which included providing a new gymnasium space at the Junior High and expanding classroom space into the adjacent District Office building, specifically for new science classroom environments. We are currently working with the District and are in the planning stages for further improvements needed at the Junior High, that fulfill the referendum and enhance the 21<sup>st</sup> Century learning opportunities for its student population. As part of this project, an 8,000 SF gymnasium addition is proposed along with related site improvements at the Junior High. An interior Science Classroom renovation is proposed in the existing District Office building and a 1,600 SF connection link between the two existing buildings will be constructed.

To bring about these improvements, the District must seek relief from the Village, specifically to the existing utility easement that divides to two building properties. As such, in conjunction with planning for the proposed building improvements, the School District reached out to Village staff to initiate a discussion of the process for allowing this building connection to move forward in a way that is beneficial for the School District and the Village. Through this process, it is anticipated that some exceptions to the zoning codes will need to be considered relative to the unique operational and security concerns of a school site. The School District will endeavor to work with the Village to comply wherever it is consistent with these objectives. In all instances where variations are being requested, the School District is agreeable to open discussion of how the interests of all parties can be best achieved.

The School District greatly appreciates its strong partnership with the Village of Buffalo Grove. To that affect, the School District hopes to address any concerns that may exist related to the appropriateness of the current school site development. At the same time, the School District hopes that its previous efforts to create and maintain a safe and functional school site, as well as their efforts to be a good neighbor, will be recognized by the Village in consideration of any required variation requests.

**Wold Architects and Engineers**  
 220 North Smith Street, Suite 310  
 Palatine, IL 60067  
 woldae.com | 847 241 6100

**PLANNERS  
 ARCHITECTS  
 ENGINEERS**



We look forward to meeting with you to review the materials being provided in support of the School District's requests.

Please feel free to contact me with any questions.

Sincerely,

Wold Architects and Engineers

A handwritten signature in black ink that reads "Benjamin Bercher".

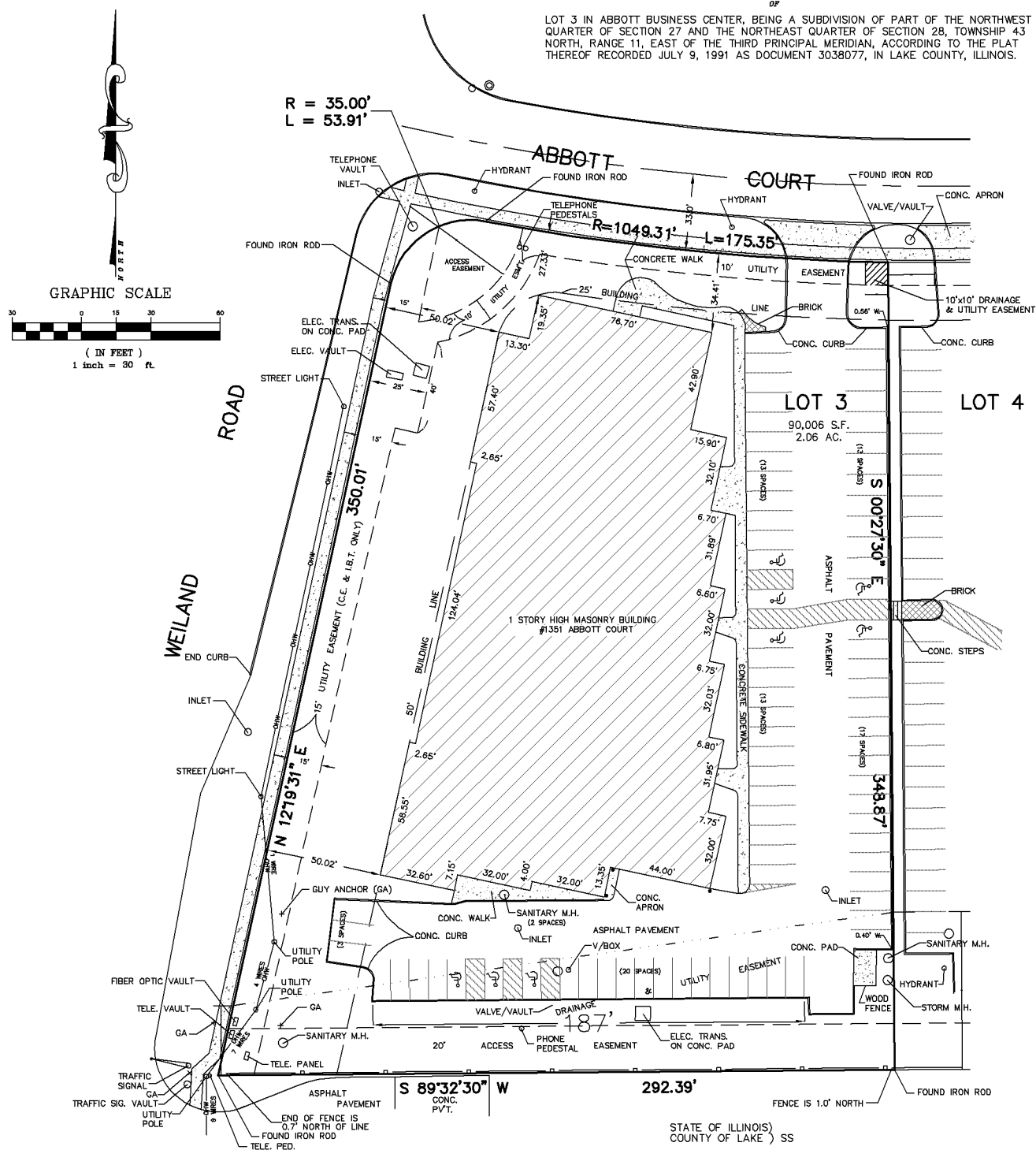
Ben Bercher | AIA  
Associate

cc: Dr. Lori Wilcox, School District 102  
Jessica McIntyre, School District 102  
Mike Zelek, School District 102  
Mike Eichhorn, Wold  
Matt Verdun, Wold  
Mattie Galgan, Wold

TD/SP/GOV-IL-Wheeling/233026/Admin/Letters/2023.11.10 Letter to Kelly Purvis

# ALTA / NSPS LAND TITLE SURVEY

LOT 3 IN ABBOTT BUSINESS CENTER, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 27 AND THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 9, 1991 AS DOCUMENT 3038077, IN LAKE COUNTY, ILLINOIS.



## SURVEYORS NOTES:

1. INFORMATION SHOWN HEREON IS AS CONTAINED IN CHICAGO TITLE INSURANCE CO. COMMITMENT NO. 175A2250218LFE, DATED SEPTEMBER 20, 2017.
2. ACCORDING TO FLOOD INSURANCE RATE MAP COMMUNITY PANEL 17097C0262K, EFFECTIVE DATE: SEPTEMBER 18, 2013 NONE OF THE PROPERTY LIES WITHIN A FLOOD HAZARD AREA.
3. TOTAL AREA OF THE ABOVE CAPTIONED PROPERTY IS 2.06 ACRES OR 90,006 SQUARE FEET.
4. BEARINGS ARE BASED ON AN ASSUMED BEARING OF SOUTH 89° 32' 30\"/>

STATE OF ILLINOIS  
COUNTY OF LAKE ) SS

TO:  
BOARD OF EDUCATION OF APTAKISIC-TRIPP COMMUNITY  
CONSOLIDATED SCHOOL DISTRICT NO. 102,  
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7a, 8, 9, 11, 16 & 17 OF TABLE A THEREOF.  
THE FIELD WORK WAS COMPLETED ON OCTOBER 6, 2017.

DATED AT LIBERTYVILLE, ILL. THIS 24th DAY OF OCTOBER, 2017.

VINCENT J. MASSE I.P.L.S. #035-2854



LICENSE EXPIRES 11/30/18

## CHAMBERLIN / MASSE ENGINEERING

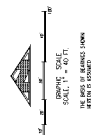
LAND SURVEYORS ~ PLANNERS ~ ENGINEERS  
14048 W. PETRONELLA DRIVE, SUITE 102  
LIBERTYVILLE, ILLINOIS 60048  
(847) 362-8444

|                 |                |           |
|-----------------|----------------|-----------|
| DRAWN BY: VJM   | JOB # 202132-4 | DRAWING # |
| CHECKED BY: VJM | F.B. PG.       | 1 OF 1    |



## 22b

Attachment Plan Set (Apartment Junior High Building Additions - D12)



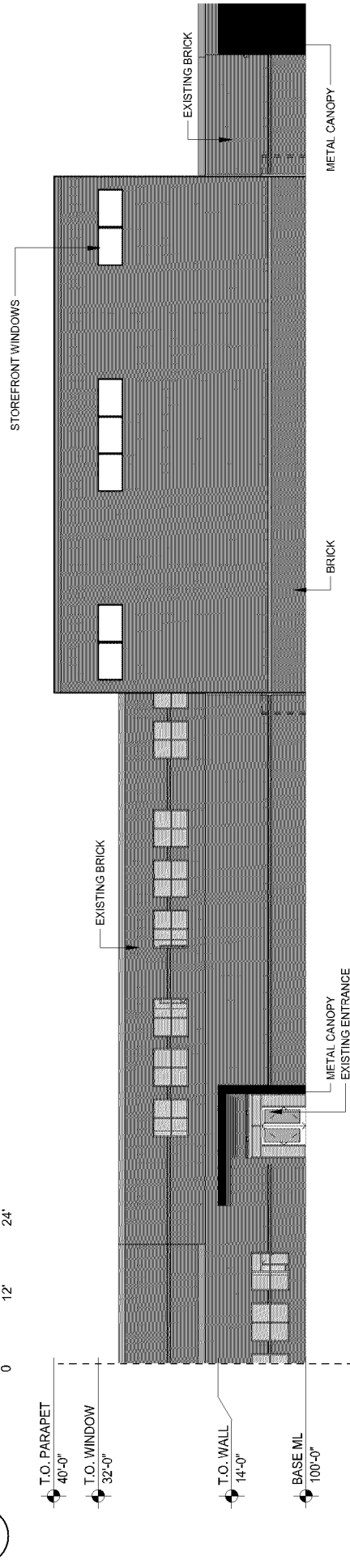
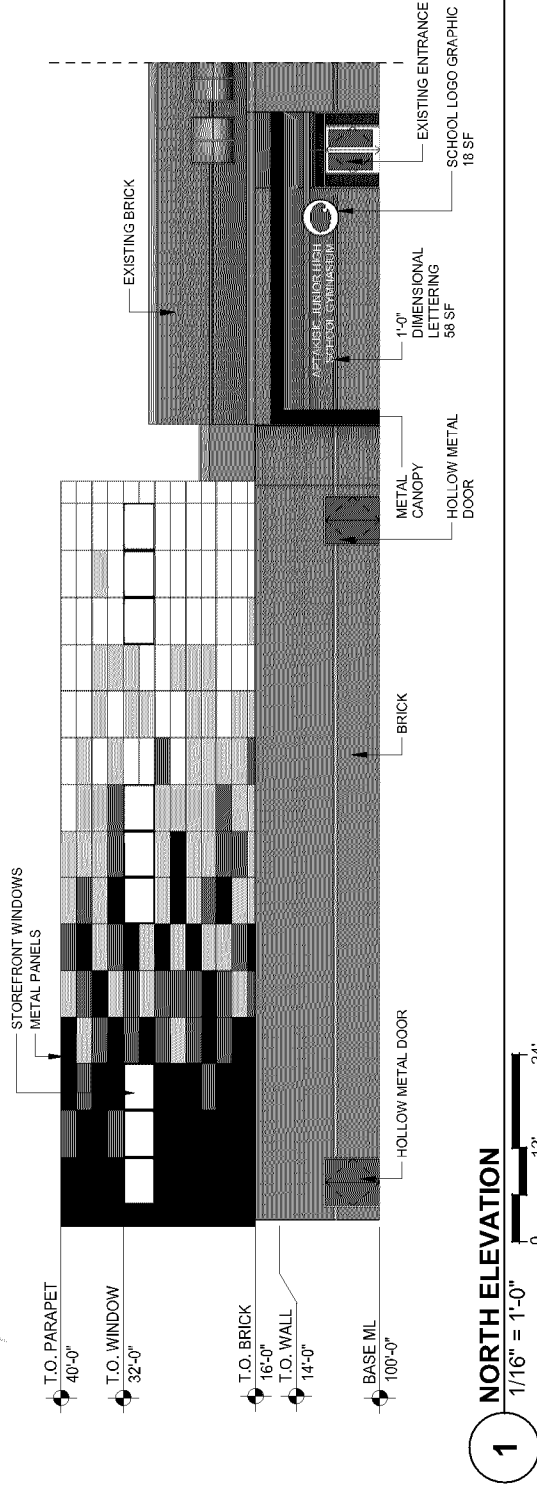




**APTAKISIC JUNIOR HIGH SCHOOL**

**GYM EXTERIOR MATERIAL STUDY 2**

**B.I**

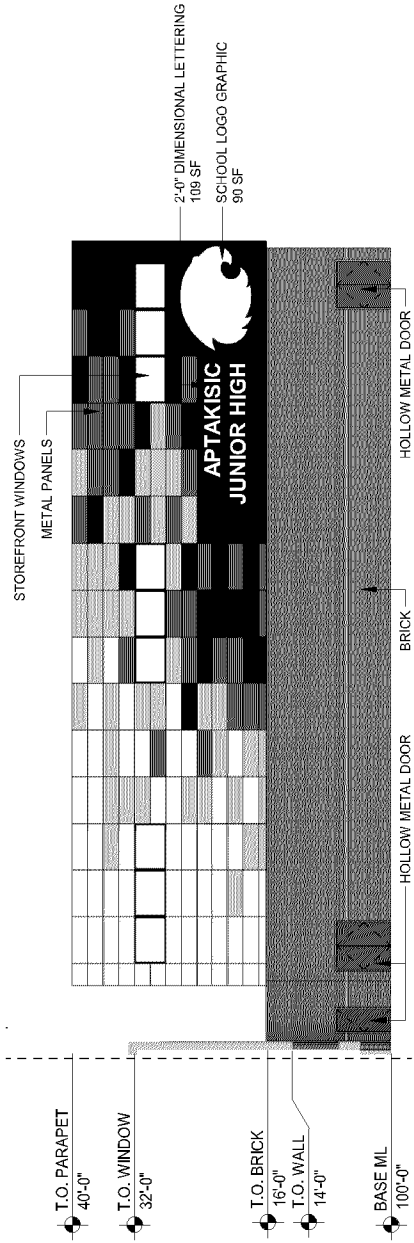




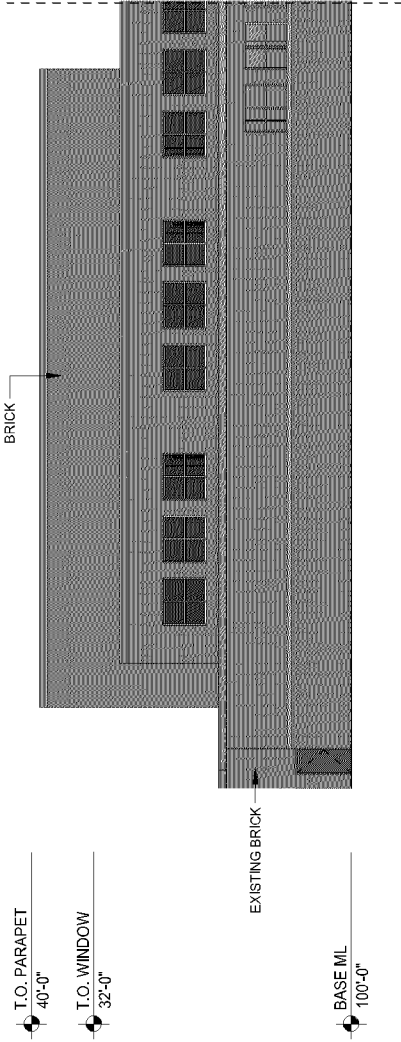
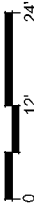
# APTAKISIC JUNIOR HIGH SCHOOL

## GYM EXTERIOR MATERIAL STUDY 2

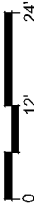
### B.I



1 SOUTH ELEVATION  
1/16" = 1'-0"



2 WEST ELEVATION  
1/16" = 1'-0"

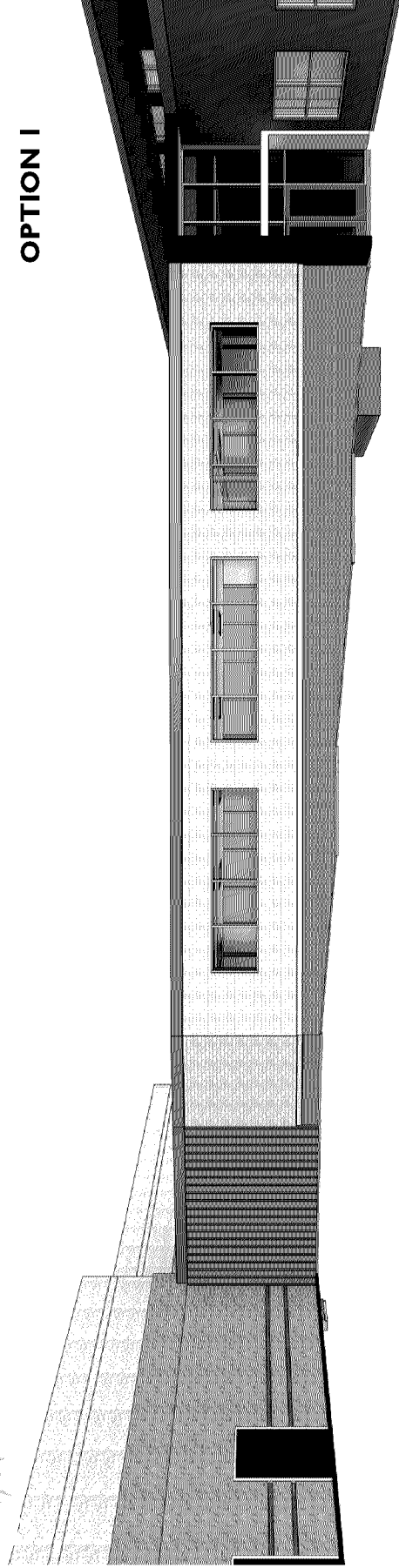




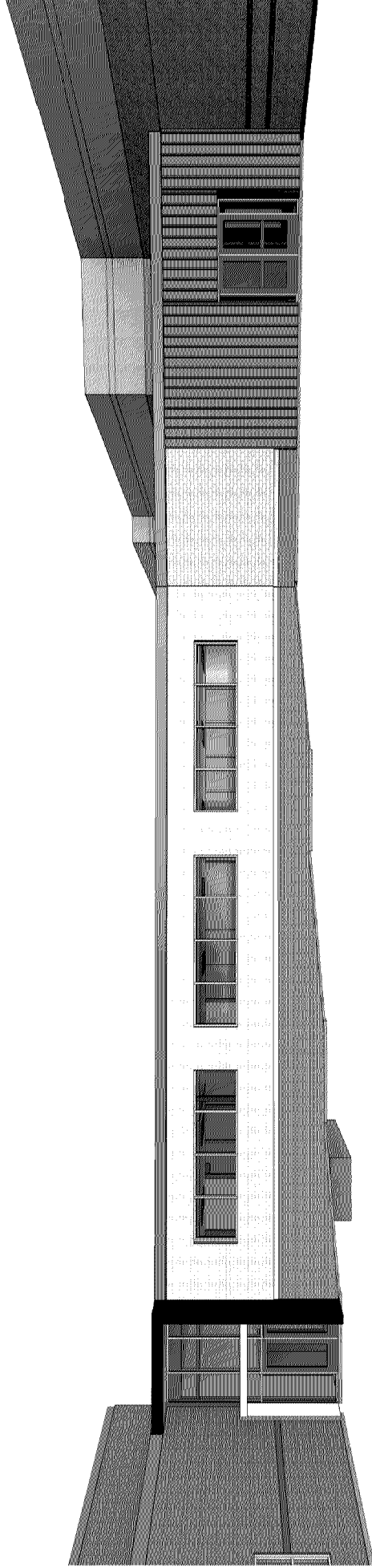
# APTAKISIC JUNIOR HIGH SCHOOL

## LINK EXTERIOR FINISHES

### OPTION I

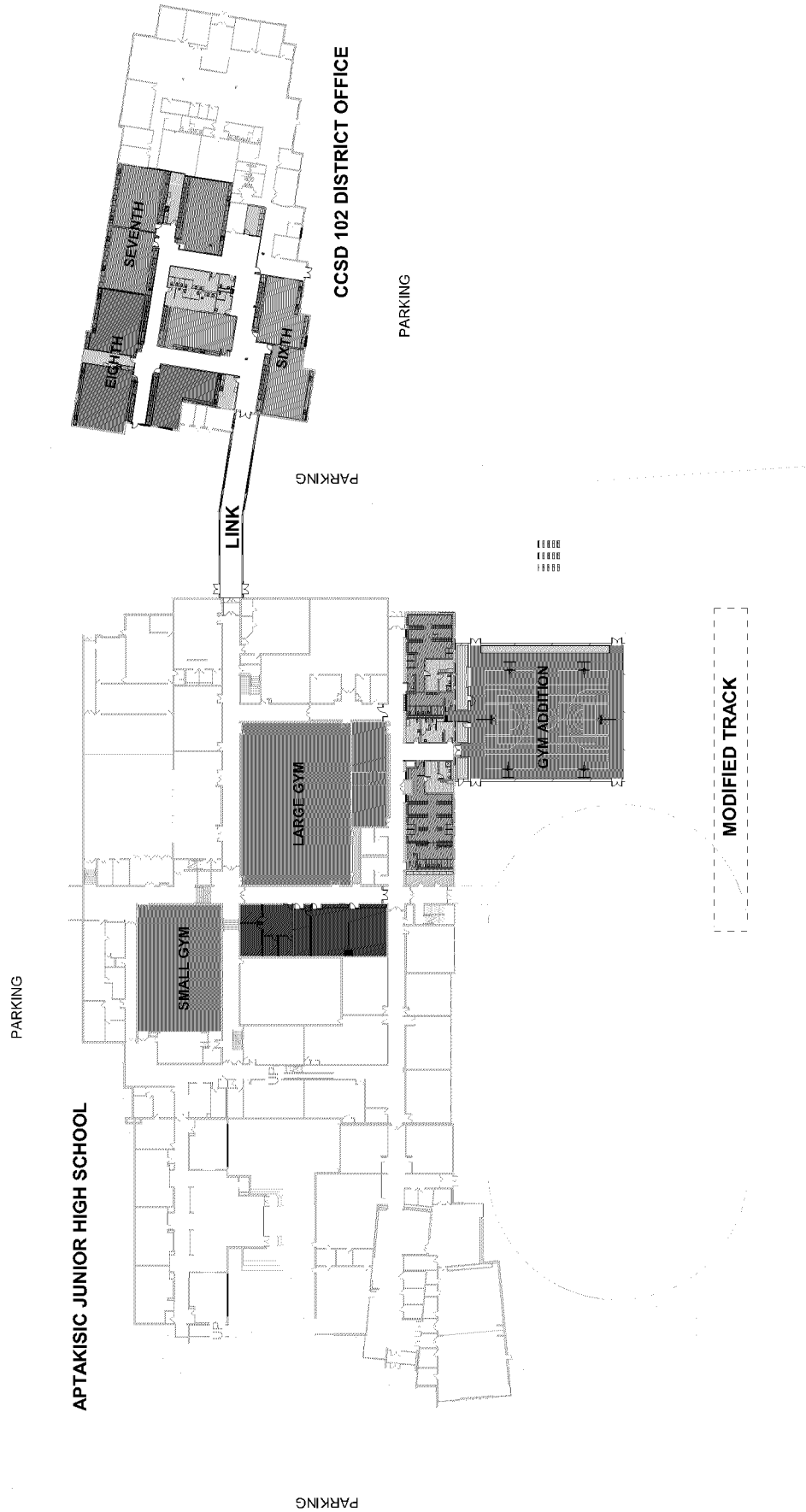


Link - West Elevation



Link - East Elevation





OVERALL PLAN

1/84" = 1'-0"

0 48' 96'

19/10/2023 11:21:25 AM  
Aptakisic Junior High School & District Office Renovations & Additions - JH Additions & Renovations  
Architect: Wold Architects & Planners, Inc. 12304 Aptakisic JH Additions & Renovations

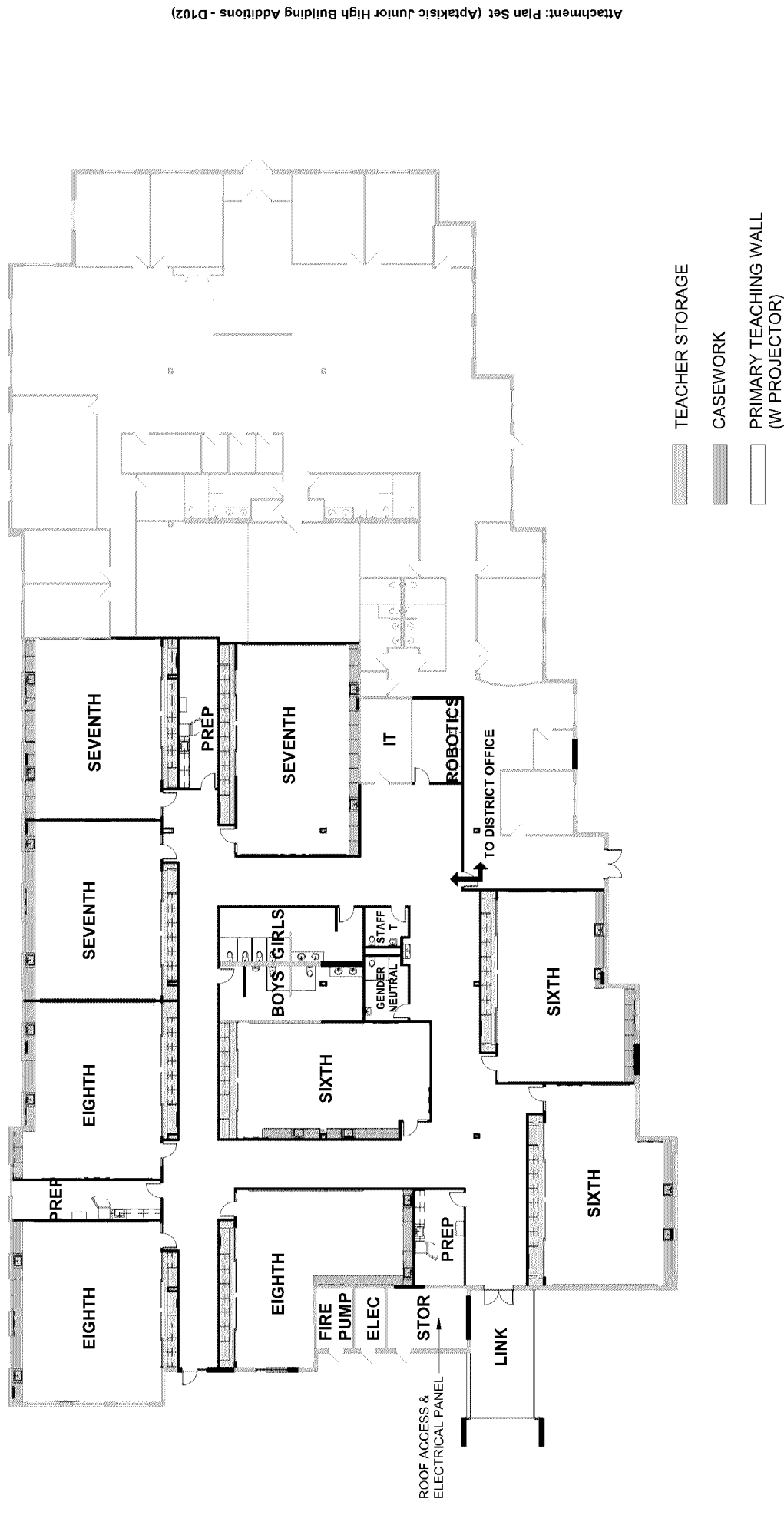
UG 1

Comm No: 233064

Packet Pg. 35







CCSD 102 DISTRICT OFFICE OVERALL FLOOR PLAN

1" = 20'-0" 0 15' 30'

10/10/2023 1:48:42 PM  
Aptakisic Junior High Addition & Renovations  
Aptakisic Junior High Addition & Renovations  
Aptakisic Junior High Addition & Renovations  
Aptakisic Junior High Addition & Renovations  
Aptakisic Junior High Addition & Renovations

2.2A

Aptakisic JH  
Additions and  
Renovations  
1231 Weiland Rd  
Buffalo Grove, Illinois  
60089

Aptakisic-Tripp CCSD  
102  
351 Abbott  
Buffalo Grove, Illinois  
60089



**WOLD ARCHITECTS  
AND ENGINEERS**  
201 North Lincoln Street  
Palmer, Illinois 60077  
wold@com 1 (847) 241-4399



**ERIKSSON  
ENGINEERING  
ASSOCIATES LTD.**  
11111 N. Lincoln Ave., Suite 100  
Chicago, IL 60658  
(847) 251-4328  
www.eriksson-engineering.com

Project: 1231 Weiland Rd, Buffalo Grove, IL 60089  
Client: Aptakisic-Tripp CCSD  
Date: 10/23/2023  
Drawn: JH  
Checked: JH  
North

COVER SHEET

# APTAKISIC JUNIOR HIGH ADDITION & RENOVATIONS 1231 WEILAND ROAD BUFFALO GROVE, IL

CIVIL ENGINEER:  
Eriksson Engineering Assoc., Ltd.  
145 Commerce Dr., Suite A  
Grayslake, IL 60030  
T: 1 (847) 223-4804  
E: kcamino@eeo-ltd.com  
Attn: Kevin Camino, PE

VILLAGE:  
Village of Buffalo Grove  
Engineering Department  
51 Raupp Boulevard  
Buffalo Grove, IL 60089  
T: 1 (847) 459-2532



LOCATION MAP

## INDEX OF SHEETS

| SHEET NO. | DESCRIPTION     |
|-----------|-----------------|
| C1.00     | GENERAL NOTES   |
| C2.00     | DEMOLITION PLAN |
| C3.00     | GEOMETRY PLAN   |
| C4.00     | GRADING PLAN    |
| C5.00     | DETAILS         |

- ### GENERAL NOTES
- The Engineer has reviewed the plans and specifications for the proposed project and has determined that the plans and specifications are in accordance with the requirements of the Village of Buffalo Grove and the State of Illinois. The Engineer has also reviewed the plans and specifications for the proposed project and has determined that the plans and specifications are in accordance with the requirements of the Village of Buffalo Grove and the State of Illinois.
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- ### PROJECT BENCHMARKS
- The project benchmarks are as follows:
- Point of Beginning: 1231 Weiland Rd, Buffalo Grove, IL 60089
  - Point of Beginning: 1231 Weiland Rd, Buffalo Grove, IL 60089
  - Point of Beginning: 1231 Weiland Rd, Buffalo Grove, IL 60089
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  - Point of Beginning: 1231 Weiland Rd, Buffalo Grove, IL 60089
  - Point of Beginning: 1231 Weiland Rd, Buffalo Grove, IL 60089

DATE: 10/23/2023  
DRAWN: JH  
CHECKED: JH  
PROJECT: 1231 Weiland Rd, Buffalo Grove, IL 60089





Aptakissic-Tripp CCSD  
102  
1351 Abbott  
Buffalo Grove, Illinois  
60089

[illegible]

Comm: 23364  
Date: 10/23/2023  
Drawn: MO  
Elev: KC

North

SITE UTILITY  
PLAN
$$\text{Pos}(\mathcal{A}) = \{1/\eta\} = \eta^{-1} = 0^{\#}$$

C3.00

Product By: 40



Scale: 1"=20'

END

| Category             |                            | Variable                                                      | Value                                                         |                   |
|----------------------|----------------------------|---------------------------------------------------------------|---------------------------------------------------------------|-------------------|
| General              | Age (Year)                 | 25                                                            | 25                                                            |                   |
|                      | Sex (Male/Female)          | Male                                                          | Male                                                          |                   |
|                      | Height (cm)                | 170                                                           | 170                                                           |                   |
|                      | Weight (kg)                | 65                                                            | 65                                                            |                   |
|                      | Medical History            | None                                                          | None                                                          |                   |
|                      | Current Medication         | None                                                          | None                                                          |                   |
|                      | Family History             | None                                                          | None                                                          |                   |
|                      | Genetic Testing            | None                                                          | None                                                          |                   |
|                      | Immunization Status        | Up to date                                                    | Up to date                                                    |                   |
|                      | Other Notes                | None                                                          | None                                                          |                   |
| Physical Examination | General Appearance         | Well                                                          | Well                                                          |                   |
|                      | Vital Signs                | BP: 120/80 mmHg, HR: 72 bpm, RR: 18 breaths/min, Temp: 36.5°C | BP: 120/80 mmHg, HR: 72 bpm, RR: 18 breaths/min, Temp: 36.5°C |                   |
|                      | Cardiovascular             | Normal                                                        | Normal                                                        |                   |
|                      | Respiratory                | Clear                                                         | Clear                                                         |                   |
|                      | Gastrointestinal           | Normal                                                        | Normal                                                        |                   |
|                      | Neurological               | Normal                                                        | Normal                                                        |                   |
|                      | Musculoskeletal            | Normal                                                        | Normal                                                        |                   |
|                      | Skin                       | Clear                                                         | Clear                                                         |                   |
|                      | Genital                    | Normal                                                        | Normal                                                        |                   |
|                      | Other                      | None                                                          | None                                                          |                   |
| Laboratory Tests     | Complete Blood Count (CBC) | Normal                                                        | Normal                                                        |                   |
|                      | Urea Nitrogen (BUN)        | 10 mg/dL                                                      | 10 mg/dL                                                      |                   |
|                      | Creatinine                 | 1.2 mg/dL                                                     | 1.2 mg/dL                                                     |                   |
|                      | Glucose                    | 90 mg/dL                                                      | 90 mg/dL                                                      |                   |
|                      | Cholesterol                | 180 mg/dL                                                     | 180 mg/dL                                                     |                   |
|                      | Triglycerides              | 100 mg/dL                                                     | 100 mg/dL                                                     |                   |
|                      | ALT (Liver Enzyme)         | 25 U/L                                                        | 25 U/L                                                        |                   |
|                      | AST (Liver Enzyme)         | 20 U/L                                                        | 20 U/L                                                        |                   |
|                      | Prothrombin Time (PT)      | 12.5 seconds                                                  | 12.5 seconds                                                  |                   |
|                      | Other                      | None                                                          | None                                                          |                   |
| Imaging Studies      | Chest X-ray                | Normal                                                        | Normal                                                        |                   |
|                      | Abdominal Ultrasound       | Normal                                                        | Normal                                                        |                   |
|                      | CT Scan                    | Normal                                                        | Normal                                                        |                   |
|                      | MRI                        | Normal                                                        | Normal                                                        |                   |
|                      | Fluoroscopy                | Normal                                                        | Normal                                                        |                   |
|                      | Other                      | None                                                          | None                                                          |                   |
|                      | Pathology                  | Biopsy                                                        | Normal                                                        | Normal            |
|                      |                            | Culture                                                       | None                                                          | None              |
|                      |                            | Immunohistochemistry (IHC)                                    | None                                                          | None              |
|                      |                            | Flow Cytometry                                                | None                                                          | None              |
| Genetic Testing      |                            | None                                                          | None                                                          |                   |
| Other                |                            | None                                                          | None                                                          |                   |
| Treatment            |                            | Medication                                                    | None                                                          | None              |
|                      |                            | Surgery                                                       | None                                                          | None              |
|                      |                            | Physical Therapy                                              | None                                                          | None              |
|                      |                            | Other                                                         | None                                                          | None              |
|                      | Follow-up                  | None                                                          | None                                                          |                   |
|                      | Other                      | None                                                          | None                                                          |                   |
|                      | Summary                    | Overall Health                                                | Good                                                          | Good              |
|                      |                            | Current Status                                                | Stable                                                        | Stable            |
|                      |                            | Recommendations                                               | Regular check-ups                                             | Regular check-ups |
|                      |                            | Other                                                         | None                                                          | None              |
| Signature            |                            | Dr. John Doe                                                  | Dr. John Doe                                                  |                   |
| Date                 |                            | 10/26/2023                                                    | 10/26/2023                                                    |                   |
| Other                |                            | None                                                          | None                                                          |                   |
| Other                |                            | None                                                          | None                                                          |                   |
| Other                |                            | None                                                          | None                                                          |                   |
| Other                |                            | None                                                          | None                                                          |                   |

## GENERAL NOTE

- [illegible]

## EVERY PROVIDED BY:

Plot of Survey and Topography Provided by Daniel Cavaney  
Company for Trakson Engineering Associates on  
08/08/2022 Draw Number 0209

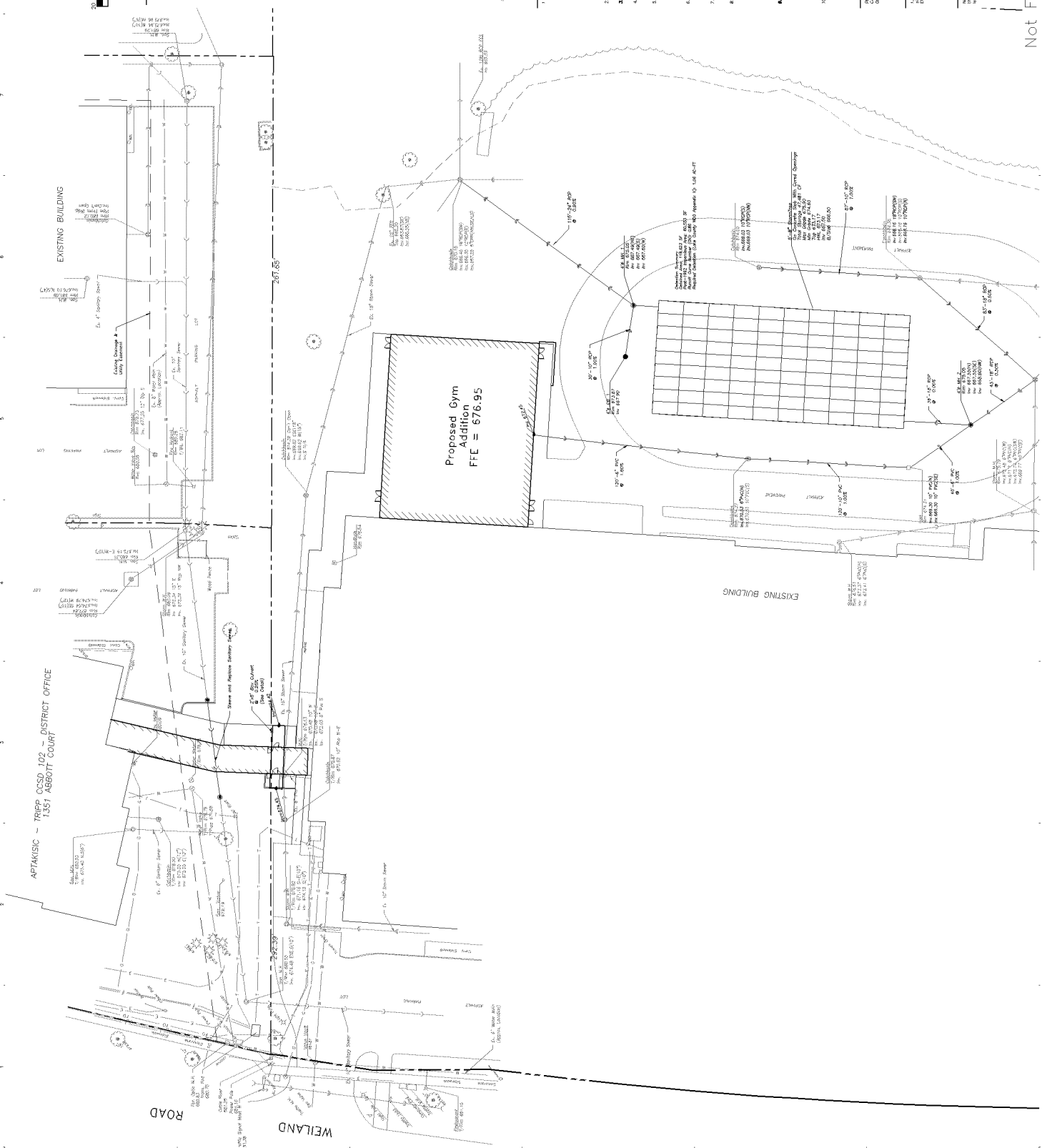
## PROJECT BENCHMARKS

Fire Hydrant NorthEast Bay Blk. on south side of Appleton Junior High School.  
Elevation 678.37

2017.11.15

code. The exact location of an utility shall be verified by the contractor prior to construction activities. For utility locations call: JULIE, 1 (800) 892-0123

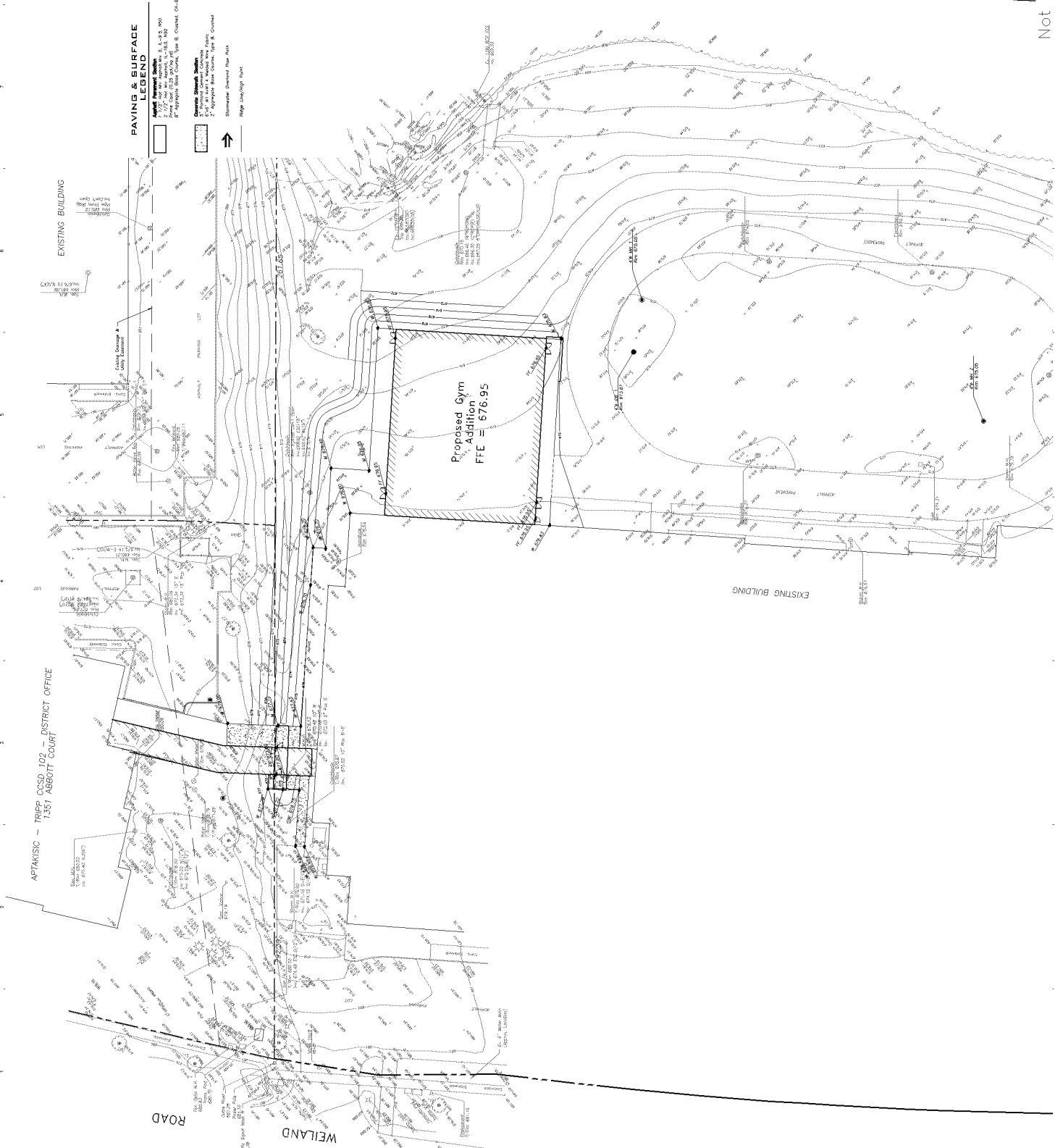
Not For Construction



Pocket Pp. 43

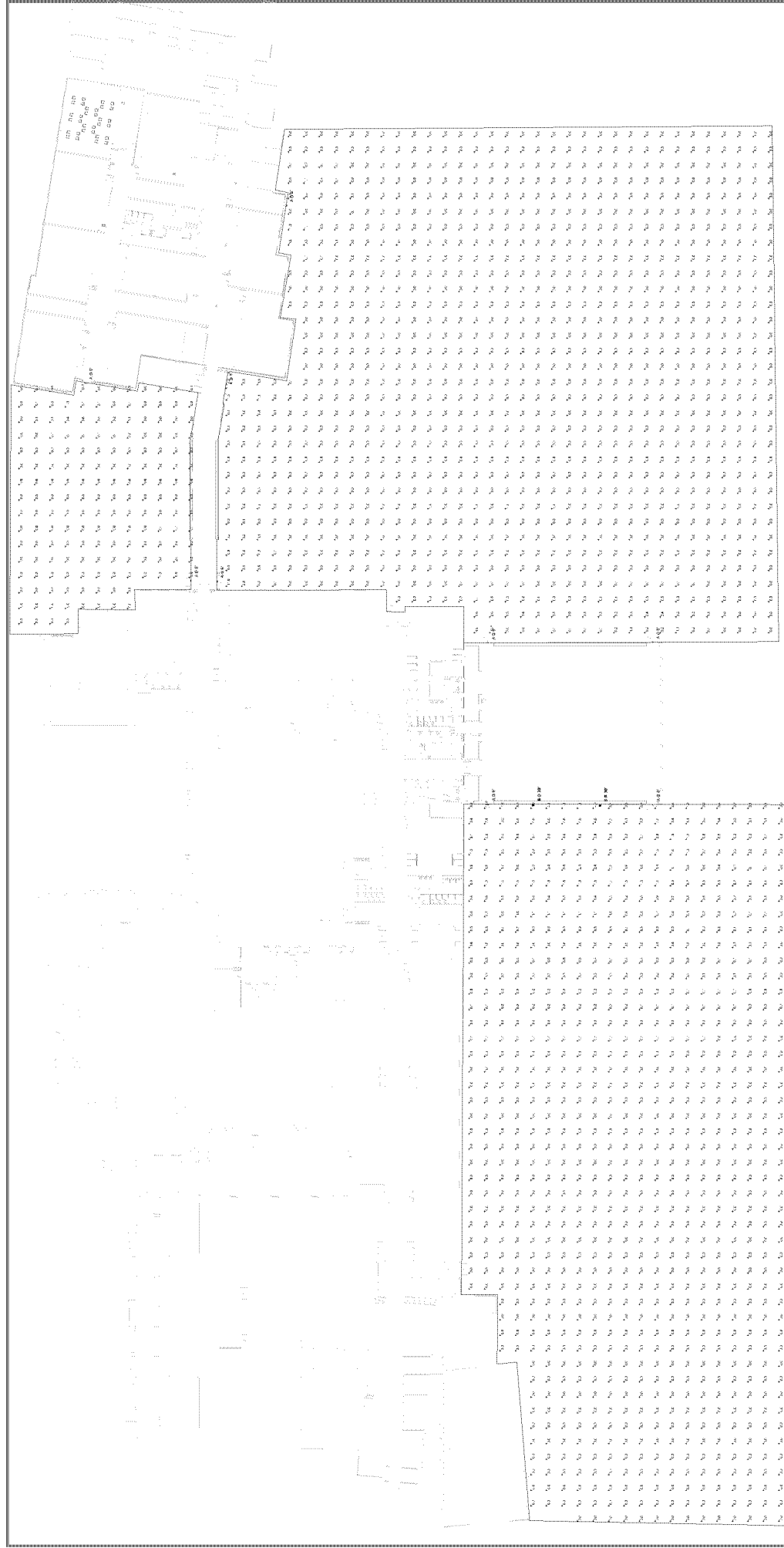
For Construction

Not For Construction



Not For Construction

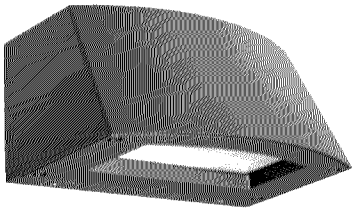




Max. View  
100' x 100'

| Schedule |       |                                                                                       |          |                   |                           |              |                 |                   |                                                                           |         |                                                                                                    |
|----------|-------|---------------------------------------------------------------------------------------|----------|-------------------|---------------------------|--------------|-----------------|-------------------|---------------------------------------------------------------------------|---------|----------------------------------------------------------------------------------------------------|
| Symbol   | Label | Image                                                                                 | Quantity | Manufacturer      | Catalog Number            | Number Lamps | Lumens Per Lamp | Light Loss Factor | Description                                                               | Wattage | Plot                                                                                               |
| < □      | A     |  | 9        | Lithonia Lighting | ARC1 LED P3 40K           | 1            | 3021            | 0.8               | ARC1 LED WITH P3 - PERFORMANCE PACKAGE, 4000K                             | 24.5247 | <br>Max: 1971cd |
|          |       |                                                                                       |          |                   |                           |              |                 |                   |                                                                           |         |                                                                                                    |
| < □      | B     |  | 2        | Lithonia Lighting | WDC4 LED P2 70CRI RFT 40K | 1            | 16134           | 0.8               | WDC4 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 70CRI, FORWARD THROW OPTIC | 109.02  | <br>Max: 7776cd |





# ARC1 LED

## Architectural Wall Luminaire

Catalog  
Number

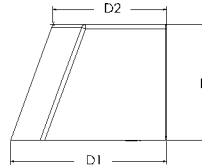
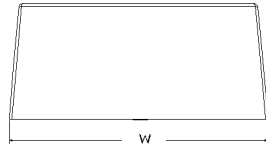
Notes

Type

ARC1 LED is a registered trademark of Lithonia Lighting, Inc. All other trademarks are the property of their respective owners.

### Specifications

**Depth (D1):** 6.5"  
**Depth (D2):** 4.75"  
**Height:** 5"  
**Width:** 11"  
**Weight:** 7 lbs  
 (without options)



### Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC1 delivers up to 3,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of ARC1, with its integrated emergency battery backup option, is ideal for over-the-door applications.

### ARC LED Family Overview

| Luminaire | Standard EM, 0°C | Cold EM, -20°C | Approximate Lumens (4000K) |       |       |       |       |
|-----------|------------------|----------------|----------------------------|-------|-------|-------|-------|
|           |                  |                | P1                         | P2    | P3    | P4    | P5    |
| ARC1 LED  | 4W               | --             | 1,500                      | 2,000 | 3,000 | --    | --    |
| ARC2 LED  | 4W               | 8W             | 1,500                      | 2,000 | 3,000 | 4,000 | 6,500 |

### Ordering Information

**EXAMPLE: ARC1 LED P2 40K MVOLT PE DDBXD**

| Series   | Package         | Color Temperature | Voltage                   | Options                                                                                                                         | Finish                           |
|----------|-----------------|-------------------|---------------------------|---------------------------------------------------------------------------------------------------------------------------------|----------------------------------|
| ARC1 LED | P1 1,500 Lumens | 30K 3000K         | MVOLT<br>347 <sup>1</sup> | E4WH Emergency battery backup, CEC compliant (4W, 0°C min) <sup>1</sup>                                                         | DDBXD Dark bronze                |
|          | P2 2,000 Lumens | 40K 4000K         |                           | PE Button type photocell for dusk-to-dawn operation                                                                             | DBLXD Black                      |
|          | P3 3,000 Lumens | 50K 5000K         |                           | DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>2</sup>              | DNAXD Natural aluminum           |
|          |                 |                   |                           | SPD6KV 6kV surge protection                                                                                                     | DWHXD White                      |
|          |                 |                   |                           | FAO Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100% <sup>2</sup> | DSSXD Sandstone                  |
|          |                 |                   |                           |                                                                                                                                 | DDBTXD Textured dark bronze      |
|          |                 |                   |                           |                                                                                                                                 | DBLBXD Textured black            |
|          |                 |                   |                           |                                                                                                                                 | DNATXD Textured natural aluminum |
|          |                 |                   |                           |                                                                                                                                 | DWHGXD Textured white            |
|          |                 |                   |                           |                                                                                                                                 | DSSTXD Textured sandstone        |

### Accessories

Ordered and shipped separately.

WSBBW DDBXD U

Surface - mounted back box (specify finish)

### NOTES

- 347V not available with E4WH
- FAO not available with DMG.



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ARC1 LED  
 Rev. 03/02/22

**Packet Pg. 45**

## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

| Performance Package | System Watts | 30K (3000K, 80 CRI) |     |   |   |   | 40K (4000K, 80 CRI) |     |   |   |   | 50K (5000K, 80 CRI) |     |   |   |   |
|---------------------|--------------|---------------------|-----|---|---|---|---------------------|-----|---|---|---|---------------------|-----|---|---|---|
|                     |              | Lumens              | LPW | B | U | G | Lumens              | LPW | B | U | G | Lumens              | LPW | B | U | G |
| P1                  | 11W          | 1,376               | 127 | 0 | 0 | 0 | 1,454               | 134 | 0 | 0 | 0 | 1,464               | 135 | 0 | 0 | 0 |
| P2                  | 17W          | 2,035               | 121 | 1 | 0 | 1 | 2,151               | 128 | 1 | 0 | 1 | 2,165               | 129 | 1 | 0 | 1 |
| P3                  | 25W          | 2,859               | 117 | 1 | 0 | 1 | 3,021               | 123 | 1 | 0 | 1 | 3,041               | 124 | 1 | 0 | 1 |

### Electrical Load

| Performance Package | System Watts | Current (A) |       |       |       |       |
|---------------------|--------------|-------------|-------|-------|-------|-------|
|                     |              | 120V        | 208V  | 240V  | 277V  | 347V  |
| P1                  | 11W          | 0.111       | 0.061 | 0.053 | 0.047 | 0.045 |
| P2                  | 17W          | 0.139       | 0.081 | 0.071 | 0.063 | 0.060 |
| P3                  | 25W          | 0.208       | 0.122 | 0.108 | 0.097 | 0.081 |

### Lumen Output in Emergency Mode (4000K, 80 CRI)

| Option | Lumens |
|--------|--------|
| E4WH   | 620    |

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Ambient |       | Lumen Multiplier |
|---------|-------|------------------|
| 0°C     | 32°F  | 1.04             |
| 10°C    | 50°F  | 1.02             |
| 20°C    | 68°F  | 1.01             |
| 25°C    | 77°F  | 1.00             |
| 30°C    | 86°F  | 0.99             |
| 40°C    | 104°F | 0.97             |

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11). To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

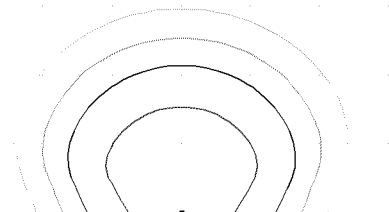
| Operating Hours          | 0    | 25,000 | 50,000 | 100,000 |
|--------------------------|------|--------|--------|---------|
| Lumen Maintenance Factor | 0.97 | >0.96  | >0.95  | >0.91   |

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting ARC LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

#### LEGEND

|                                                                                    |         |
|------------------------------------------------------------------------------------|---------|
|  | 0.25 fc |
|  | 0.5 fc  |
|  | 1.0 fc  |
|  | 3.0 fc  |



MH = 10ft  
Grid = 10ft x 10ft

ARC1 LED P3 40K



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ARC1 LED  
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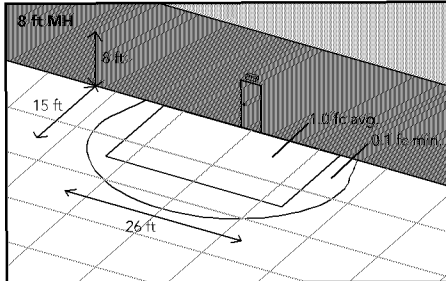
## Emergency Egress Options

### Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

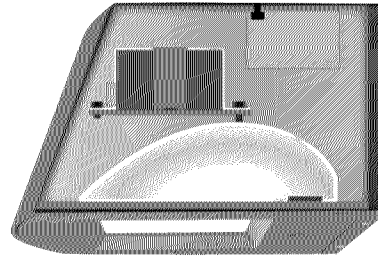
Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode.



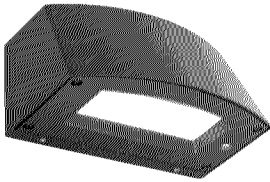
Grid = 10ft x 10ft

ARC1 LED 40K MVOLT E4WH



Self-contained solution for clean aesthetic

## Mounting, Options & Accessories

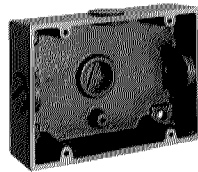


E4WH – 4W Emergency Battery Backup

D = 6.5"

H = 5"

W = 11"



BBW – Standard Back Box

D = 1.5"

H = 4"

W = 5.5"

For surface conduit applications.  
3/4" conduit entry holes.

## FEATURES & SPECIFICATIONS

### INTENDED USE

The clean architectural shape of the ARC LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long-life LEDs and driver make this luminaire nearly maintenance-free.

### CONSTRUCTION

The die-cast aluminum housing and door act as heat sinks to optimize thermal transfer from the light engine and driver to promote long-life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

### FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

### OPTICS

Recessed lens to cut off high angle light and reduce glare. Combination of diffused lens and reflector design has low surface brightness creating a visually comfortable environment with great distribution. LEDs are fully hidden from view to eliminate pixelization and harsh glare. The ARC LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long-life (up to L71/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire is 0-10V dimmable.

### INSTALLATION

The universal wall plate, supplied with the luminaire, fits multiple size junction boxes and supports the luminaire during wiring for easy installation. Built-in wet location wiring compartment on the luminaire to accommodate wiring connections for where there is no junction box. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

### LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all version of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified. International DarkSky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only. Rated for -40°C minimum ambient.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

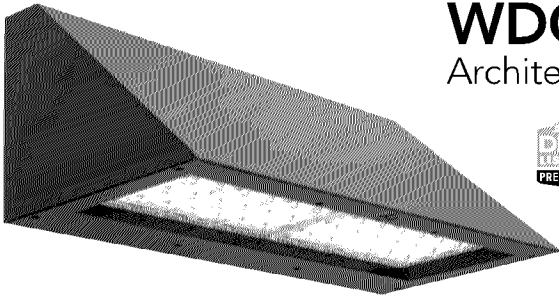
**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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ARC1 LED  
Rev. 03/02/22



# WDGE4 LED

## Architectural Wall Sconce

Catalog  
Number

Notes

Type

WDGE4 LED Architectural Wall Sconce is designed to meet the needs of the commercial outdoor lighting market.

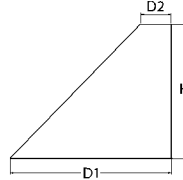
### Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE4 has been designed to deliver up to 25,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.

### Specifications

**Depth (D1):** 10"  
**Depth (D2):** 2"  
**Height:** 9"  
**Width:** 25"  
**Weight:** 30.5 lbs  
 (without options)



### WDGE LED Family Overview

| Luminaire | Standard EM, 0°C | Cold EM, -20°C | Sensor              | Lumens (4000K) |        |        |        |        |        |
|-----------|------------------|----------------|---------------------|----------------|--------|--------|--------|--------|--------|
|           |                  |                |                     | P1             | P2     | P3     | P4     | P5     | P6     |
| WDGE1 LED | 4W               | --             | --                  | 1,200          | 2,000  | --     | --     | --     | --     |
| WDGE2 LED | 10W              | 18W            | Standalone / nLight | 1,200          | 2,000  | 3,000  | 4,500  | 6,000  | --     |
| WDGE3 LED | 15W              | 18W            | Standalone / nLight | 7,500          | 8,500  | 10,000 | 12,000 | --     | --     |
| WDGE4 LED | --               | --             | Standalone / nLight | 12,000         | 16,000 | 18,000 | 20,000 | 22,000 | 25,000 |

### Ordering Information

**EXAMPLE: WDGE4 LED P3 40K 70CRI R3 MVOLT SRM DDBX1**

| Series    | Package |    | Color Temperature | CRI   | Distribution      | Voltage          | Mounting                  |                                                                                                         |
|-----------|---------|----|-------------------|-------|-------------------|------------------|---------------------------|---------------------------------------------------------------------------------------------------------|
| WDGE4 LED | P1      | P4 | 30K 3000K         | 70CRI | R2 Type 2         | MVOLT            | <b>Shipped included</b>   |                                                                                                         |
|           | P2      | P5 | 40K 4000K         | 80CRI | R3 Type 3         | 347 <sup>1</sup> | SRM                       | Surface mounting bracket                                                                                |
|           | P3      | P6 | 50K 5000K         |       | R4 Type 4         | 480 <sup>1</sup> | ICW                       | Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) <sup>4</sup>                           |
|           |         |    |                   |       | RFT Forward Throw |                  |                           |                                                                                                         |
|           |         |    |                   |       |                   |                  | <b>Shipped separately</b> |                                                                                                         |
|           |         |    |                   |       |                   |                  | AWS                       | 3/8inch Architectural wall spacer                                                                       |
|           |         |    |                   |       |                   |                  | PBBW                      | Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available. |

| Options          |                                                                                                   |  |  |  | Finish |                           |
|------------------|---------------------------------------------------------------------------------------------------|--|--|--|--------|---------------------------|
| PE <sup>2</sup>  | Photocell, Button Type                                                                            |  |  |  | DDBXD  | Dark bronze               |
| DS <sup>3</sup>  | Dual switching (comes with 2 drivers and 2 light engines)                                         |  |  |  | DBLXD  | Black                     |
| DMG <sup>3</sup> | 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) |  |  |  | DNAXD  | Natural aluminum          |
| BCE              | Bottom conduit entry for back box (PBBW). Total of 4 entry points.                                |  |  |  | DWHXD  | White                     |
| SPD10KV          | 10kV Surge pack                                                                                   |  |  |  | DSSXD  | Sandstone                 |
| BAA              | Buy America(n) Act Compliant                                                                      |  |  |  | DBBTXD | Textured dark bronze      |
|                  |                                                                                                   |  |  |  | DBLBXD | Textured black            |
|                  |                                                                                                   |  |  |  | DNATXD | Textured natural aluminum |
|                  |                                                                                                   |  |  |  | DWHGXD | Textured white            |
|                  |                                                                                                   |  |  |  | DSSTXD | Textured sandstone        |
|                  |                                                                                                   |  |  |  |        |                           |

### Accessories

Ordered and shipped separately.

WDGEAWS DDBXD WDGE 3/8inch Architectural Wall Spacer (specify finish)  
 WDGE4PBBW DDBXD U WDGE4 surface-mounted back box (specify finish)

#### Standalone Sensors/Controls

**PIR** Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.

**PIRH** Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.

**PIR1FC3V** Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.

**PIRH1FC3V** Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.

#### Networked Sensors/Controls

**NLTAIR2 PIR** nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights.

**NLTAIR2 PIRH** nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights.

See page 3 for out of box functionality

#### NOTES

- 347V and 480V not available with DS.
- PE not available in 480V and with sensors/controls.
- DS and DMG not available with sensors/controls.
- Not qualified for DLC. Not available with emergency battery backup



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WDGE4 LED  
 Rev. 02/16/23

**Packet Pg. 48**

## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

| Performance Package | System Watts | Dist. Type | 30K (3000K, 70 CRI) |     |   |   |   | 40K (4000K, 70 CRI) |     |   |   |   | 50K (5000K, 70 CRI) |     |   |   |   |
|---------------------|--------------|------------|---------------------|-----|---|---|---|---------------------|-----|---|---|---|---------------------|-----|---|---|---|
|                     |              |            | Lumens              | LPW | B | U | G | Lumens              | LPW | B | U | G | Lumens              | LPW | B | U | G |
| P1                  | 77W          | R2         | 11,173              | 146 | 2 | 0 | 1 | 12,125              | 158 | 2 | 0 | 1 | 12,125              | 158 | 2 | 0 | 1 |
|                     |              | R3         | 10,951              | 143 | 2 | 0 | 2 | 11,884              | 155 | 2 | 0 | 2 | 11,884              | 155 | 2 | 0 | 2 |
|                     |              | R4         | 11,224              | 147 | 2 | 0 | 2 | 12,180              | 159 | 2 | 0 | 2 | 12,180              | 159 | 2 | 0 | 2 |
|                     |              | RFT        | 11,104              | 145 | 2 | 0 | 2 | 12,050              | 157 | 2 | 0 | 2 | 12,050              | 157 | 2 | 0 | 2 |
| P2                  | 106W         | R2         | 14,960              | 141 | 3 | 0 | 2 | 16,235              | 153 | 3 | 0 | 2 | 16,235              | 153 | 3 | 0 | 2 |
|                     |              | R3         | 14,663              | 138 | 2 | 0 | 2 | 15,912              | 150 | 2 | 0 | 3 | 15,912              | 150 | 2 | 0 | 3 |
|                     |              | R4         | 15,028              | 141 | 2 | 0 | 2 | 16,308              | 153 | 2 | 0 | 3 | 16,308              | 153 | 2 | 0 | 3 |
|                     |              | RFT        | 14,868              | 140 | 2 | 0 | 2 | 16,134              | 152 | 2 | 0 | 2 | 16,134              | 152 | 2 | 0 | 2 |
| P3                  | 123W         | R2         | 16,993              | 138 | 3 | 0 | 2 | 18,441              | 150 | 3 | 0 | 2 | 18,441              | 150 | 3 | 0 | 2 |
|                     |              | R3         | 16,655              | 136 | 2 | 0 | 3 | 18,074              | 147 | 3 | 0 | 3 | 18,074              | 147 | 3 | 0 | 3 |
|                     |              | R4         | 17,070              | 139 | 2 | 0 | 3 | 18,524              | 151 | 3 | 0 | 3 | 18,524              | 151 | 3 | 0 | 3 |
|                     |              | RFT        | 16,888              | 138 | 2 | 0 | 3 | 18,327              | 149 | 2 | 0 | 3 | 18,327              | 149 | 2 | 0 | 3 |
| P4                  | 140W         | R2         | 18,958              | 136 | 3 | 0 | 2 | 20,573              | 147 | 3 | 0 | 2 | 20,573              | 147 | 3 | 0 | 2 |
|                     |              | R3         | 18,581              | 133 | 3 | 0 | 3 | 20,164              | 144 | 3 | 0 | 3 | 20,164              | 144 | 3 | 0 | 3 |
|                     |              | R4         | 19,044              | 136 | 3 | 0 | 3 | 20,667              | 148 | 3 | 0 | 3 | 20,667              | 148 | 3 | 0 | 3 |
|                     |              | RFT        | 18,841              | 135 | 2 | 0 | 3 | 20,446              | 146 | 3 | 0 | 3 | 20,446              | 146 | 3 | 0 | 3 |
| P5                  | 156W         | R2         | 20,919              | 134 | 3 | 0 | 2 | 22,702              | 146 | 3 | 0 | 2 | 22,702              | 146 | 3 | 0 | 2 |
|                     |              | R3         | 20,503              | 132 | 3 | 0 | 3 | 22,250              | 143 | 3 | 0 | 3 | 22,250              | 143 | 3 | 0 | 3 |
|                     |              | R4         | 21,014              | 135 | 3 | 0 | 3 | 22,804              | 147 | 3 | 0 | 4 | 22,804              | 147 | 3 | 0 | 4 |
|                     |              | RFT        | 20,790              | 134 | 3 | 0 | 3 | 22,561              | 145 | 3 | 0 | 3 | 22,561              | 145 | 3 | 0 | 3 |
| P6                  | 185W         | R2         | 23,725              | 128 | 3 | 0 | 2 | 25,746              | 139 | 3 | 0 | 2 | 25,746              | 139 | 3 | 0 | 2 |
|                     |              | R3         | 23,253              | 126 | 3 | 0 | 4 | 25,234              | 136 | 3 | 0 | 4 | 25,234              | 136 | 3 | 0 | 4 |
|                     |              | R4         | 23,832              | 129 | 3 | 0 | 4 | 25,863              | 140 | 3 | 0 | 4 | 25,863              | 140 | 3 | 0 | 4 |
|                     |              | RFT        | 23,578              | 127 | 3 | 0 | 3 | 25,587              | 138 | 3 | 0 | 4 | 25,587              | 138 | 3 | 0 | 4 |

### Electrical Load

| Performance Package | System Watts | Current (A) |       |       |       |       |       |
|---------------------|--------------|-------------|-------|-------|-------|-------|-------|
|                     |              | 120V        | 208V  | 240V  | 277V  | 347V  | 480V  |
| P1                  | 77W          | 0.635       | 0.366 | 0.319 | 0.280 | 0.223 | 0.161 |
| P2                  | 106W         | 0.889       | 0.514 | 0.449 | 0.395 | 0.309 | 0.228 |
| P3                  | 123W         | 1.014       | 0.585 | 0.510 | 0.447 | 0.356 | 0.258 |
| P4                  | 140W         | 1.159       | 0.668 | 0.582 | 0.509 | 0.403 | 0.294 |
| P5                  | 156W         | 1.296       | 0.743 | 0.647 | 0.564 | 0.451 | 0.326 |
| P6                  | 185W         | 1.512       | 0.864 | 0.751 | 0.655 | 0.526 | 0.378 |

### Lumen Multiplier for 80CRI

| CCT | Multiplier |
|-----|------------|
| 30K | 0.891      |
| 40K | 0.906      |
| 50K | 0.906      |

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Ambient |       | Lumen Multiplier |
|---------|-------|------------------|
| 0°C     | 32°F  | 1.05             |
| 10°C    | 50°F  | 1.03             |
| 20°C    | 68°F  | 1.01             |
| 25°C    | 77°F  | 1.00             |
| 30°C    | 86°F  | 0.99             |
| 40°C    | 104°F | 0.97             |

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours          | 0   | 25,000 | 50,000 | 100,000 |
|--------------------------|-----|--------|--------|---------|
| Lumen Maintenance Factor | 1.0 | >0.98  | >0.96  | >0.92   |



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WDGE4 LED  
Rev. 02/16/23

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage.  
Tested in accordance with IESNA LM-79 and LM-80 standards.

### LEGEND



MH = 18ft  
Grid = 18ft x 18ft

WDGE4 LED P2 40K 70CRI R2

WDGE4 LED P2 40K 70CRI R3

WDGE4 LED P2 40K 70CRI R4

WDGE4 LED P2 40K 70CRI RFT

## Control / Sensor Options

### Motion/Ambient Sensor (PIR\_, PIRH\_)

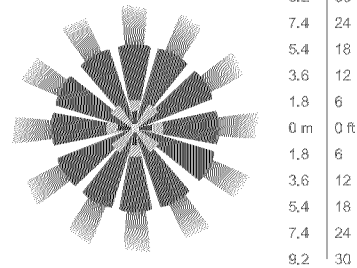
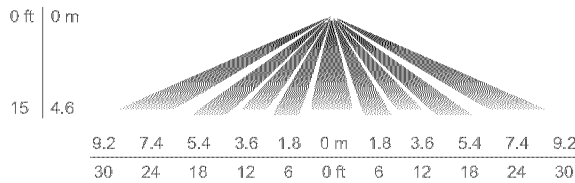
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

### Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

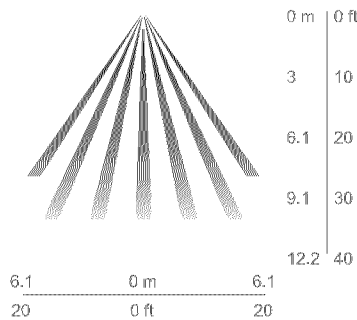
#### PIR

##### HIGH VIEW

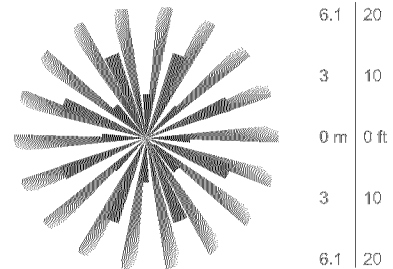


#### PIRH

##### SIDE VIEW



##### TOP VIEW



| Option                                 | Dim Level                                                       | High Level (when triggered) | Photocell Operation | Motion Time Delay | Ramp-down Time | Ramp-up Time                         |
|----------------------------------------|-----------------------------------------------------------------|-----------------------------|---------------------|-------------------|----------------|--------------------------------------|
| PIR or PIRH                            | Motion - 3V (37% of full output)<br>Photocell - 0V (turned off) | 10V (100% output)           | Enabled @ 5fc       | 5 min             | 5 min          | Motion - 3 sec<br>Photocell - 45 sec |
| PIR1FC3V, PIRH1FC3V                    | Motion - 3V (37% of full output)<br>Photocell - 0V (turned off) | 10V (100% output)           | Enabled @ 1fc       | 5 min             | 5 min          | Motion - 3 sec<br>Photocell - 45 sec |
| NLTAIR2 PIR, NLTAIR2 PIRH (out of box) | Motion - 3V (37% of full output)<br>Photocell - 0V (turned off) | 10V (100% output)           | Enabled @ 5fc       | 7.5 min           | 5 min          | Motion - 3 sec<br>Photocell - 45 sec |

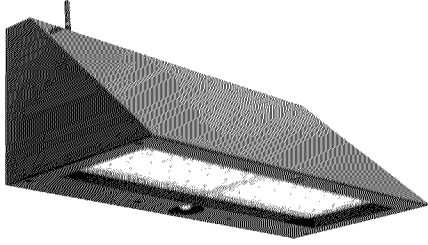


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WDGE4 LED  
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## Mounting, Options & Accessories

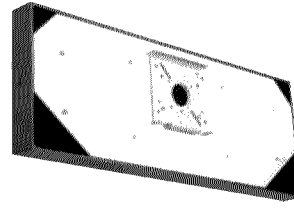


**NLTAIR2 PIR – nLight AIR  
Motion/Ambient Sensor**

D = 10"

H = 11"

W = 25"

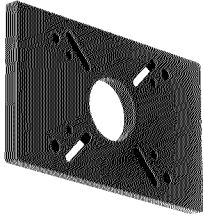


**PBBW – Surface-Mounted Back Box**  
Use when there is no junction box available.

D = 1.75"

H = 9"

W = 25"



**AWS – 3/8inch Architectural Wall Spacer**

D = 0.38"

H = 4.4"

W = 7.5"

## FEATURES & SPECIFICATIONS

### INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

### CONSTRUCTION

The single-piece die-cast aluminum housing to optimize thermal transfer from the light engine and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

### FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

### OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. Light engines are available in 3000 K, 4000 K or 5000 K configurations. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L92/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

### INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 vibration load rating per ANSI C136.31.

### LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP65 rated; luminaire is IP65 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature and SRM mounting only.

### BUY AMERICAN ACT

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations.

Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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WDGE4 LED  
Rev. 02/16/23

**Packet Pg. 51**



# Memorandum

TO: Benjamin Bercher  
Wold Architects & Engineers

FROM: Stephen B. Corcoran, P.E., PTOE  
Director of Traffic Engineering

DATE: November 27, 2023

RE: Aptakisic Junior High School  
District 102 Administration Center  
Expansion Traffic Review  
Buffalo Grove, Illinois

Eriksson Engineering Associates, Ltd. (EEA) was retained by the Aptakisic-Tripp Community Consolidated School District 102 and WOLD Architects and Engineers to conduct a traffic review of the proposed expansion plans for Aptakisic Junior High School and the District Administration Center in Buffalo Grove, Illinois. The school district is proposing to expand the size of existing gymnasium and build a connection to the administration center to the school and create additional classrooms.

Aptakisic Junior High School is located at 1231 Weiland Road in Buffalo Grove. The school is on the east side of Weiland Road across from Veterans Park. It currently serves 884 students in 6<sup>th</sup> thru 8<sup>th</sup> grades with 100 staff. It has a full unsignalized access drive on the north side of the school and a full signalized drive on the south side.

The Administration Center is located at 1351 Abbott Court in Buffalo Grove. It has a single unsignalized access point on Abbott Court.

EEA completed a traffic review to assess the existing conditions at the site and determine how the expansion will impact traffic conditions.

## Existing Roadways

**Weiland Road** is a four-lane north-south major collector road with two travel lanes in each direction and a center left-turn median. It has a 40-mph speed limit with a 20-mph school speed zone by the school. The signalized intersection serving the school and Veterans Park has separate northbound and southbound left-turn lanes and a northbound right-turn lane. Veterans Park has a single lane exit. The school drive has a shared left-turn/thru lane and a separate right-turn lane. The west, north, and east legs have pedestrian crosswalks and signals.

**Abbott Court** is a local road that extends east of Weiland Road and then curves north and then back west to Weiland Road. It serves a combination of commercial, recreational, and institutional uses. The south end has an unsignalized intersection with Weiland Road and the north end is signalized. No on-street parking is permitted on the south side of the road by the Administration Center.

Both roads are under the jurisdiction of the Village of Buffalo Grove.

## School Procedures

A copy of the school's student drop-off and pick-up procedures is attached.

Classroom time is from 7:50 AM to 2:50 PM. Eighteen school buses use the west parking lot to unload and load their passengers. In the morning, the buses enter the south entrance and turn left into the west lot. A staff member is present to create an opening in exiting parent traffic to allow the turn. After unloading, the buses exit the north entrance.



In the afternoon, the buses enter the north entrance and face southbound when the load students. After they are loaded, the buses exit the signalized south entrance via the traffic signal. A staff member will stop exiting parent traffic to allow the buses to leave as a group.

All parent vehicles must enter from the south signalized entrance and go east thru the south parking lot and loop back west to the south side of the school for drop-off in the morning and pick-up in the afternoon.

Staff can enter either drive to park at either lot.

### **School Observations**

EEA observed the school's arrival period on Wednesday November 15<sup>th</sup> and dismissal on Friday November 17<sup>th</sup>, 2023.

#### Arrival

1. Weather sunny and clear with temperature at 54° F.
2. At approximately 7:37 AM, parent vehicles started stacking onto Weiland road until 7:47 AM or 10 minutes.
3. Most of the queuing was on northbound Weiland Road in the northbound right-turn lane and northbound curb lane extending up to the Creekside Commons driveway approximately 500 feet to the south.
4. The left northbound thru lane was clear that enabled non-school traffic to pass the queued vehicles.
5. Several parents stopped in the queue on Weiland Road let their students exit from the vehicle.
6. A couple of parents dropped off their students in the parking lot behind the 7-11 convenience store.
7. School bus traffic operated well.

#### Dismissal

1. Weather sunny and clear with temperature at 50° F.
2. No afternoon queuing was observed in the Weiland Road thru lanes. A couple of vehicles were stopped in the right-turn lane.
3. Several parents used the 7-11 lot or the Veteran's Park lot to wait for and pick-up their student(s).
4. School bus traffic operated well.
5. A few students crossed Weiland Road at the signal to the Veteran Park lot and were picked up by their parents.
6. Dismissal lasted about 15 minutes in total.

### **Northbound Queuing on Weiland Road**

During the morning arrival period, there is a significant amount of parent vehicles queuing on Weiland Road for approximately ten minutes. The available on-site stacking lane is 825 feet long or 41 vehicles. The ideal solution would be to add additional space on-site for the overflow vehicles. Unfortunately, the school site is small and landlocked preventing it from expanding the parent drop-off.

### **Proposed Campus Changes**

The school district is proposing to add a third gymnasium and updated locker rooms to adequately meet the physical education requirements for their existing student population. In addition, an enclosed building connection is proposed between the junior high and the administration center to allow access to additional classrooms for specific programming needs. Existing administrative space will be remodeled into classrooms with some administrative functions moved offsite to make room for the remodel. Twelve parking spaces will be removed in the administrative lot.

These changes are considered elbow room improvements to accommodate existing programming needs for the current student population. They are not designed to accommodate an increase in the number of students. In the administrative center, the activity will decrease proportionality with the space reallocated to the school. Overall, there will be no significant change in the traffic volumes or flow around the school due to these changes.

**APTAKISIC JUNIOR HIGH SCHOOL  
STUDENT DROP OFF and PICK UP PROCEDURES  
2021-2022**

The safety of everyone who comes to our schools is extremely important. Please keep these guidelines in mind when coming to the Junior High:

- Follow instructions from school staff members and on posted signs.
- Be courteous and patient. Leave extra time when dropping off and picking up your students.
- Encourage students to ride the bus to and from school as often as possible.

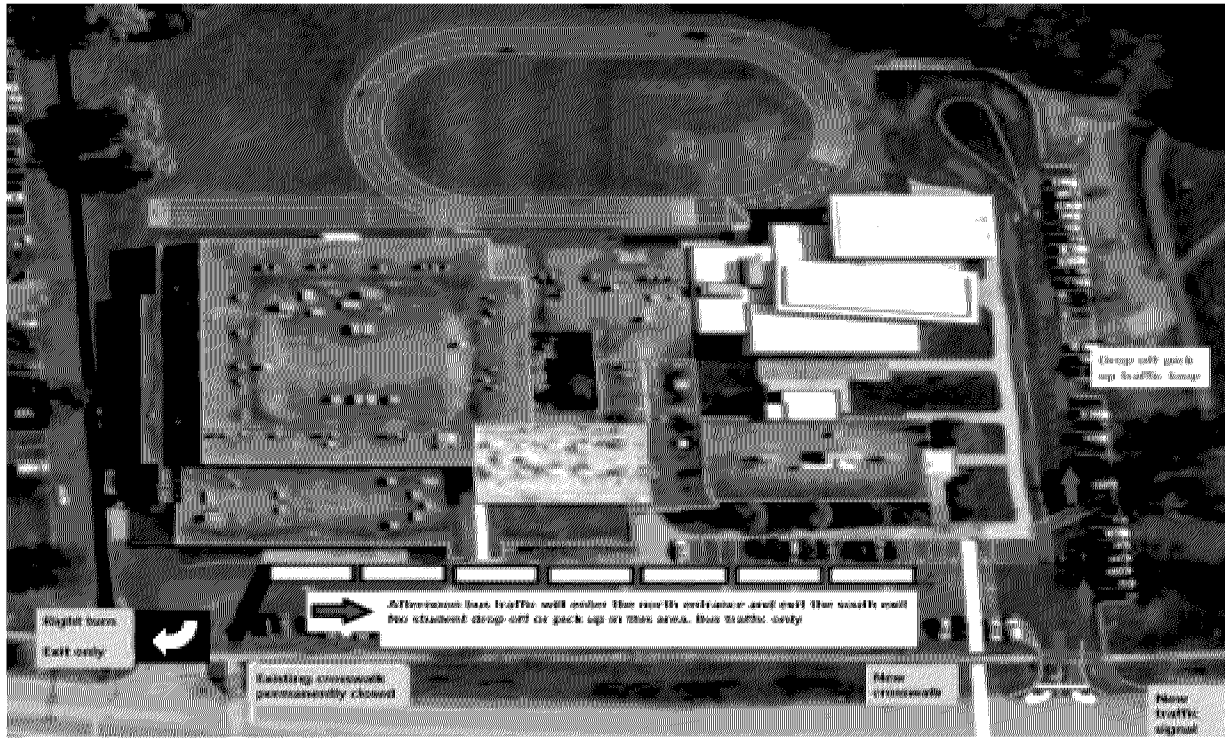
**Morning Drop-Off**

- *Parents drop-off students at the south end of the building and exit at the new traffic signal at the south entrance/exit.* Please follow the signs around the drop-off loop, stay in a single-file line along the curb, and pull forward to the designated location to drop off your student. Exit at the new traffic signal onto Weiland Road. **ALL** parent drop-off traffic must exit the parking lot at the new traffic signal at the south entrance/exit and make a right or left turn onto Weiland Road. The north exit will be used for buses only during arrival and dismissal.
- *Buses drop off in front of the school.* The front or west lot will be used for bus drop off only. **ALL** parent drop-off traffic must exit the parking lot at the new traffic signal at the south entrance/exit and make a right or left turn onto Weiland Road.
- *Bike riders:* The bike rack is on the south side of the building. Students should use the sidewalk and designated crosswalk to access the bike rack area.
- *Walkers:* The cross walk at Weiland Road has been moved to the north side of the new traffic signal at the south entrance/exit. The crossing guard will also be moved to this location.



**After School Pick-Up - 2:50 pm**

- *Parents pick up at the south end of the building and exit at the new traffic signal at the south entrance/exit.* Please follow the signs around the pick-up loop, stay in a single file line along the curb, and pull forward to the designated location to pick-up your student. Student pick up is only allowed along the curb side area designated by the solid white line. Once your student is picked up, parents may use the left (inside) lane to then exit the parking lot at the new traffic signal at the south entrance/exit making a right or left turn onto Weiland Road. For safety, students must stay in the designated student areas along the curb and will **NOT** be permitted to walk through the pick-up loop for any reason. The north exit will be used for buses only during arrival and dismissal. **Please do not arrive at school before 2:40pm for pick-up.**
- *Buses pick up in front of the school.* The front or west lot will be used for bus pick-up only. **ALL** parent pick-up traffic must exit the parking lot at the new traffic signal at the south entrance/exit and make a right or left turn onto Weiland Road.
- *Bike riders:* The bike rack is on the south side of the building. Students should use the sidewalk and designated crosswalk to access the bike rack area.
- *Walkers:* The cross walk at Weiland Road has been moved to the north side of the new traffic signal at the south entrance/exit. The crossing guard will also be moved to this location.



# VILLAGE OF BUFFALO GROVE



During your testimony at the Public Hearing, you need to testify and present your case for the Special Use being requested. In doing so, you need to address the six (6) Special Use Standards listed below:

## **SPECIAL USE STANDARDS**

1. The special use will serve the public convenience at the location of the subject property; or the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

### **Response:**

The gymnasium addition will serve the school community as it will be a multifunctional space to support student development in physical education, fine arts, and other miscellaneous activities. Similarly, the gymnasium addition will serve the public as it will be a rentable space for the community to support a variety of needs such as sporting events and gathering space.

The building link will serve the school community to provide safe and protected access between buildings for students, staff, and visitors. The building link will also support public access to the new gymnasium addition. The maintenance and operation of these additions will not be detrimental to or endanger the public health as they will integrate into the same way the existing school functions.

2. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with said special use, the size of the subject property in relation to such special use, and the location of the site with respect to streets giving access to it shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located;

### **Response:**

The existing location and size of the current special use and operation of the school site will remain unchanged. There will be no increase in total traffic flow and buses arriving on site, and therefore street access and use will remain unchanged. Other properties in the immediate vicinity will not be negatively impacted. The proposed additions will be appropriately designed to be in harmony with the existing District buildings and within the development of the zoning district in which it is located. As it goes about its mission of educating the children of the community, the School District will continue its endeavors to be good neighbors to adjacent residents, and to the Village of Buffalo Grove.

3. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations with the neighborhood;

### **Response:**

The existing use and operation of the school site will remain unchanged. Other properties in the immediate vicinity will not be negatively impacted. As it goes about its mission of educating the children of the community, the School District will continue its endeavors to be good neighbors to adjacent residents, and to the Village of Buffalo Grove community.

4. The nature, location and size of the buildings or structures involved with the establishment of the special use will not impede, substantially hinder or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;

**Response:**

The existing junior high school and District Office building do not currently impede the ability of the surrounding properties to be developed and improved as permitted by the Village of Buffalo Grove. The building additions are taking place on property that is already owned by the District and none of the work will substantially alter the relationship of the school site to its adjacent properties, and as such will maintain the ability of those properties to be developed and improved as permitted by the Village of Buffalo Grove.

There is an existing fence today between the Junior High and the District Office that belongs to the Business Park Association. By consolidating the District Office property and the Junior High School, the fence currently in place will no longer be needed between these two buildings. The plan will involve removing the sections of fencing from Weiland Road back to the School Districts property line. The remaining sections of fencing, belonging to the Associate, further east of the District property will remain.

5. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;

**Response:**

The utilities, drainage, and necessary facilities for the project will be designed and constructed as necessary to satisfy the demands of the proposed building, and the District will bear the cost of the necessary design and construction. Site stormwater management will be Implemented in accordance with the Village of Buffalo Grove and the Lake County Watershed Development Ordinance (WDO). The proposed design will include an underground stormwater management facility consisting of plastic arch chambers and stone, providing both detention and infiltration prior to discharging to nearby Aptakisic Creek. Access roads will remain unchanged by this work.

6. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance and minimize traffic congestion in the public streets.

**Response:**

The parking stall size and quantity at the Junior High School will remain unchanged. The parking lot at the District Office on the Abbott Court property will decrease parking stalls by 12 to account for the new building link construction. The proposed work for the District will also involve moving the facilities department off of this campus , thereby eliminating the need for 12 parking stalls for District vehicles. The parking lot for the Abbott Court property currently serves the District Office staff, some Junior High teachers and District Office Visitors. The proposed changes to the parking lot off of Abbot Court will include removing the Facilities Department traffic and parking, and may take on some additional teacher and or staff parking. Busses and parents will continue to pick-up and drop off students at the Aptakisic Junior High Parking lots at the start and finish of each school day. The current number of visitor parking stalls at the Junior High Parking lot will remain unchanged. The number of visitors to the site during normal operation hours will remain unchanged by this work, therefore there is no need to provide additional parking on the site. Entrance and exit driveways to and from existing parking areas shall remain unchanged and unhindered by new construction. A traffic study memo will be prepared to further analyze the current traffic volumes and anticipated uses for the future.

A parking lot of approximately 49 spots across Wieland road in Veterans Park, is currently available to the School District for overflow parking during special events through a current agreement with the Park District.

**2.2.b**

Prepared by:  
Ben Bercher, AIA  
Wold Architects and Engineers  
220 North Smith Street, Suite 310  
Palatine, IL 60067



During your testimony at the Public Hearing, you need to testify and present your case for the variance being requested. During your testimony, you need to address the three (3) Variation Standards listed below:

**Criteria for Zoning Variation.**

A. The regulations of this Title shall not be varied unless findings of fact are made based upon evidence presented at the hearing that:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the zoning district in which it is located except in the case of residential zoning districts;

Section 17.40.020B – for the building height of the gymnasium addition at 40 feet (where 35 feet is permitted);

Section 17.40.020B – for the corner side yard setback of the existing building at 1351 Abbot Ct to be at 25 feet (50 feet is required);

Section 17.40.020B – for the interior side yard setback of the proposed gymnasium at 48 feet. Existing Junior High is at 30 feet. (approx. 100 feet is required – 10% of lot width)

**Response:**

Per Section 17.40.020B, the building height for this property must be below 35 feet. The newly proposed gymnasium is proposed to be 40 feet in height. The reason for this request in height is to allow for the inclusion of retractable bleacher seating within the gymnasium. Due to the performance criteria of the gymnasium space for all-school assemblies and music concerts and other large performances, the retractable bleachers will stand at 25 feet in height. We are requesting to keep the roof structure at a higher elevation for patron safety and to prevent people from attempting to grab or swing from any portion of the ceiling or roof. An overall building height of 40 feet would enhance the building user safety by allowing there to be approximately 10 feet of clear space from the top of the bleacher seat to the bottom of the roof structure.

Per Section 17.40.020B, the existing corner side yard setback of the existing building at 1351 Abbott Court is 25 feet, per its current zoning use (Industrial District). Once consolidated with the Junior High School property, the allowable setback will be 50 feet. Due to the existing condition of the building, we are requesting that the existing 25-foot setback for the corner side yard at 1351 Abbott Court be allowed to remain as-is.

Per Section 17.40.020B, the interior side yard setback of the proposed gymnasium is requested to be 30 feet. A variance is being requested to allow a 30 foot set back from the 10% of the lot width. Once the two lots are consolidated, a 10% set back would be approximately 100 feet. The existing School is approximately 30 feet from the interior side lot property line. The proposed location of the gymnasium is such that it maintains the schools existing track. The proposed gym will be 48 feet minimum from the property line, but with the revised set back requirement from consolidating the two properties, the existing Junior High will now be within the typical interior side yard set back. A variance is being requested for this existing building to have an allowed set back of 30 feet.

2. The plight of the owner is due to unique circumstances;

**Response:**

By consolidating the two properties, the set back requirements will in turn be revised to meet the R-E zoning requirements. Due to this revision, the existing buildings already on site are in conflict with



the new set backs. The school District is simply requesting relief to modify set backs to keep the existing buildings in conformance with the Village Zoning Ordinances.

2.2.b

The request for the additional height in the gymnasium structure is being driven by the need of having a space for all-school assemblies and large performances. In order to meet the seating capacity needed for these large events, a retractable bleacher system is proposed to be installed. In order to maintain a higher level of safety, the design of the roof structure is to be placed at an elevation that is high enough from the highest point of the bleachers, to prevent students or other building users from being able to easily touch or hang from the roof structure. It is anticipated that a 40 foot tall building would provide enough overhead space, and thereby enhance the occupant safety, from the top of the bleachers.

3. The proposed variation will not alter the essential character of the neighborhood

**Response:**

The proposed variation alterations will not alter the essential character of the neighborhood because the existing buildings on site already determine the neighborhood character, with regards to set backs.

The proposed variation for the gym height will not alter the essential character of the neighborhood, as this larger volume will be behind the existing Junior High, relative to Weiland road and the new gym will not be readily viewable from the west side. The neighboring properties to the south and east will also not be visually impacted as they are an electrical utility easement and a heavily wooded creek abutting to residential properties.

**ORDINANCE NO. 2017 - 035**

**AN ORDINANCE APPROVING A SPECIAL USE AND VARIATION  
IN THE RE RESIDENTIAL DISTRICT  
VILLAGE OF BUFFALO GROVE,  
COOK AND LAKE COUNTIES, ILLINOIS**

**Aptakisic School  
1231 Weiland Road  
Special Use and Variation for an Elementary School**

WHEREAS, the Village of Buffalo Grove is a Home Rule Unit by virtue of the Illinois Constitution of 1970; and,

WHEREAS, the property at 1231 Weiland Road ("Property") legally described in EXHIBIT A attached hereto is zoned in the RE Residential District; and,

WHEREAS, Aptakisic-Tripp School District 102 ("Petitioner"), has petitioned the Village for approval of a special use and variation to expand an existing elementary school at the Property; and,

WHEREAS, the Village Plan Commission conducted a public hearing on August 2, 2017 concerning the petition for the special use and variation; and,

WHEREAS, the Plan Commission determined that the petition meets the criteria of a special use and variation as set forth in the Buffalo Grove Zoning Ordinance; and,

WHEREAS, the Plan Commission voted 9 to 0 to recommend approval of the special use and variation; and,

WHEREAS, the President and Village Board of Trustees after due and careful consideration have concluded that the proposed expansion of the elementary school is a reasonable use of the Property and will serve the best interests of the Village.

WHEREAS, the proposed expansion of the Aptakisic School shall be operated in accordance with and pursuant to the following exhibits:

- EXHIBIT A      Legal Description
- EXHIBIT B      Acceptance and Agreement concerning special uses
- EXHIBIT C      Engineering Plans and Building Elevations

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF BUFFALO GROVE, COOK AND LAKE COUNTIES, ILLINOIS:

Section 1. This Ordinance is made pursuant to and in accordance with the Village's Zoning Ordinance and the Village's Home Rule powers. The preceding whereas clauses are hereby made a part of this Ordinance.

Section 2. The Corporate Authorities hereby grant a special use and variations to Aptakasic-Tripp School District 102 for an existing elementary school at the Property subject to the following conditions:

1. The proposed development shall substantially conform to the plans attached as part of this petition.
2. Final engineering shall be revised in a manner acceptable to the Village Engineer.
3. The petitioner shall provide a traffic study prior to the start of construction.

Section 3. This Ordinance shall be in full force and effect upon the submittal of a signed Exhibit B (Acceptance and Agreement) hereto. This Ordinance shall not be codified.

AYES: 5 – Berman, Stein, Ottenheimer, Weidenfeld, Johnson

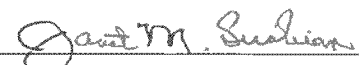
NAYS: 0 - None

ABSENT: 0 - None

PASSED: August 21, 2017.

APPROVED: August 21, 2017.

ATTEST:

  
Janet M. Sirabian, Village Clerk

APPROVED:

  
Beverly Sussman, Village President

**EXHIBIT A**  
**LEGAL DESCRIPTION**

**Aptakistic School**  
**1231 Weiland Road**  
**Special Use and Variation for an Elementary School**

**SUBJECT PROPERTY LEGAL DESCRIPTION:**

THAT PART OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 43 NORTH, RANGE 11, LYING EAST OF THE THIRD PRINCIPAL MERIDIAN IN LAKE COUNTY, ILLINOIS, BOUNDED AND DESCRIBED AS FOLLOWS, TO WIT: BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SECTION 28 AFORESAID, THENCE WEST ALONG THE NORTH LINE OF SAID SOUTHEAST QUARTER 957.67 FEET TO THE CENTER OF APTAKISTIC ROAD, THENCE SOUTHERLY ALONG THE CENTER LINE OF SAID ROAD 618 FEET, THENCE EAST PARALLEL TO THE NORTH LINE OF SAID SOUTHEAST QUARTER TO THE EAST LINE OF SAID SOUTHEAST QUARTER, THENCE NORTH ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER 616.64 FEET TO THE POINT OF BEGINNING. EXCEPT THAT PART LYING EAST AND SOUTH OF THE CENTER THREAD OF THE CREEK RUNNING IN A NORTHERLY DIRECTION THROUGH SAID PROPERTY.

AND ALSO EXCEPT THAT PART PREVIOUSLY DEDICATED FOR PUBLIC ROAD PURPOSES RECORDED MARCH 22, 1989 AS DOCUMENT 89244

**SUBJECT PROPERTY COMMON DESCRIPTION:** 1231 Weiland Road, Buffalo Grove, IL  
(PIN 15-28-400-058)

Attachment: 2017-035 (Aptakistic Junior High Building Additions - D102)

**EXHIBIT B****Acceptance and Agreement Concerning Special Use**

**Aptakisic School  
1231 Weiland Road  
Special Use and Variation for an Elementary School**

Aptakisic-Tripp School District 102 acknowledges that it has read and understands all of the terms and provisions of Buffalo Grove Ordinance No. 2017-035 pertaining to the special use and variation, and does hereby accept and agree to abide by and be bound by each of the terms, conditions and limitations of said Ordinance.

Aptakisic-Tripp School District 102

By: 

Name (print): Stacey Bacha-

Title: Asst. Supt.

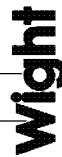
5

**EXHIBIT C**  
**Engineering Plans and Building Elevations**

**Aptakistic School**  
**1231 Weiland Road**  
**Special Use and Variation for an Elementary School**

Attachment: 2017-035 (Aptakistic Junior High Building Additions - D102)

**D102**



Weight & Company  
weightco.com

**Aptakisic-Tripp School  
District 102  
1231 Welland Road  
Buffalo Grove, IL 60089**

|                           |            |
|---------------------------|------------|
| 100% DD                   | 06/22/2017 |
| PRELIMINARY ZONING COORD. | 05/25/2017 |
| 25% DESIGN PROGRESS       | 05/03/2017 |

| REV | DESCRIPTION                  | DATE |
|-----|------------------------------|------|
|     | <b>APTAKISIC JUNIOR HIGH</b> |      |

1231 Weiland Road  
Buffalo Grove, IL 60089

COVER SHEET

Project Number: 5235-05

**CO.**

### 2.2.c

**CLIENT**  
APLAKSIC-TRIPP COMMUNITY  
CONSOLIDATED SCHOOL DISTRICT 02  
121 MIDLAND RD., BUFFALO GROVE,  
IL 60089  
CONTACT:  
PHONE: (630)969-7979  
FAX: (630)969-7979  
CONTACT: SHAWN BENSON  
Design Firm Registration #18A-000493

**WRIGHT & COMPANY**  
2500 N FRONTAGE ROAD  
DAREN, IL 60561  
PHONE: (630)969-7000  
FAX: (630)969-7979  
CONTACT: MATT AQUINO  
Descon, Inc. Registration  
#184-000451

WIGHT & COMPANY  
2500 N FRONTAGE ROAD  
DAREN, IL 60561  
PHONE (630)969-7000  
FAX (630)969-7979  
CONTACT: AMY FULLER  
Design Firm Registration #184-000451

**FIRE PROTECTION ENGINEER:**  
WIGHT & COMPANY  
3530 NORTH FRONTAGE  
DUREN, W. 80561  
PHONE: (303)969-7000  
FAX: (303)969-7978  
CONTACT: SUZUSH SARAF  
Design Firm Registration  
#184-(00045)

CALL J.U.L.I.E.  
TOLL FREE TEL 1-800-892-0123

WUJIE SUBURBS &amp; DICK CHICAGO

- \* YELLOW \_\_\_\_\_ GAS  
 \* RED \_\_\_\_\_ ELECTRICAL  
 \* ORANGE \_\_\_\_\_ PHONE / TV  
 \_\_\_\_\_ COMMUNICATION  
 \_\_\_\_\_ WATER  
 \* BLUE \_\_\_\_\_ SEWERS  
 \* GREEN \_\_\_\_\_  
 \* WHITE \_\_\_\_\_ SAFE TO DIG

## BENCHMARKS

ALL ELEVATIONS SHOWN HEREON ARE  
IN REFERENCE WITH NAVD83 (2011) AND  
NAVD88 (MRS)

#### SITE BENCHMARKS:

SITE BENCHMARK #1:

VBC BM 60, BRASS MONUMENT  
ELEVATION: 683.15

CONTROL POINT #1

MAG NAIL  
NORTHING: 2005725.90

LEASTING: 1088448.37  
IFV=679.18

CONTROL POINT #4

CONTROL POINT #4  
CROSS CUT  
CROSS CUT

NORTHING: 2006111.53  
EASTING: 1088360.88

ELEV=682.04

## INDEX OF DRAWINGS

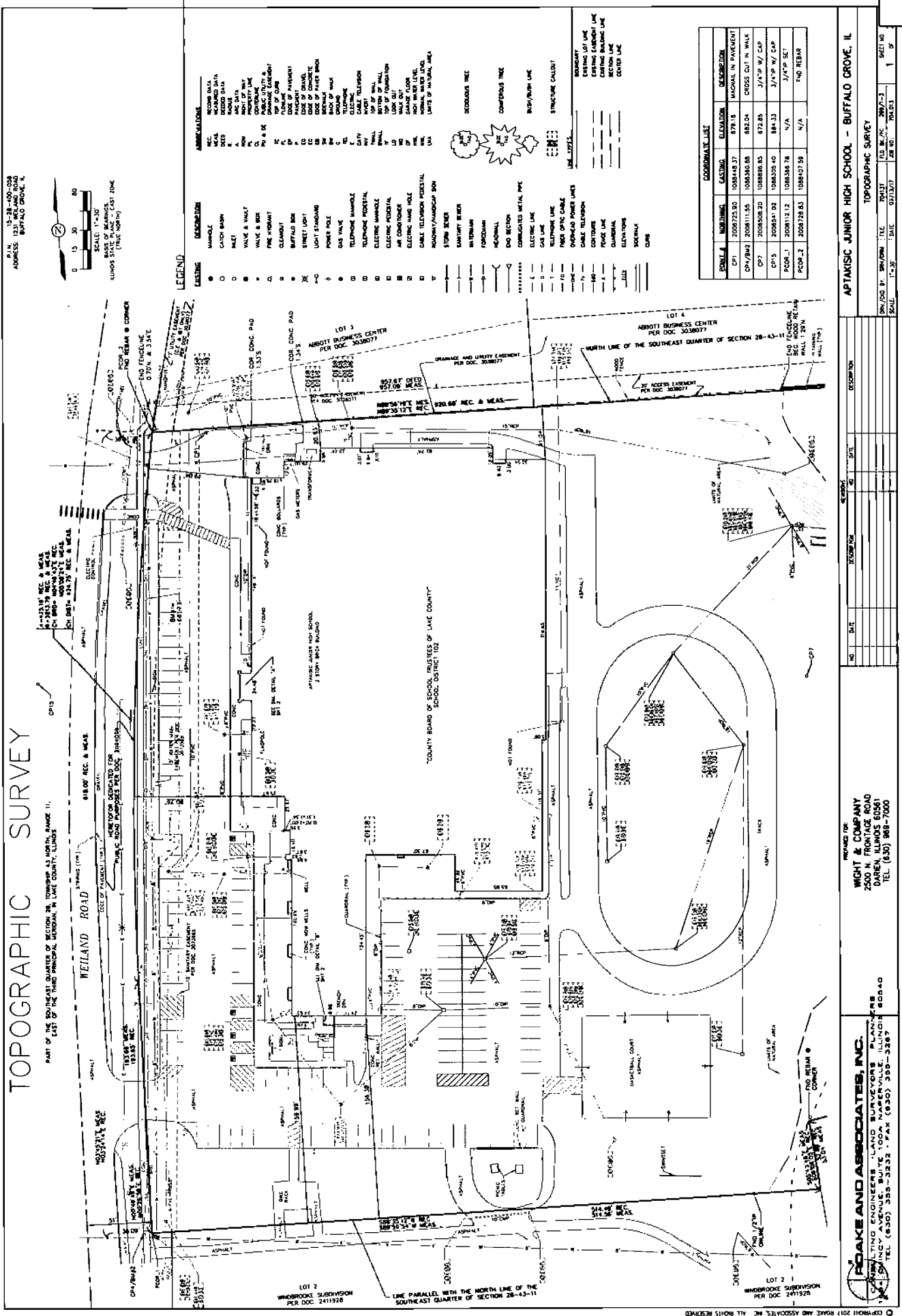
|             |                                                |  |
|-------------|------------------------------------------------|--|
| CIVIL PLANS | COVER SHEET                                    |  |
| C3.00       | TOPOGRAPHIC SURVEY (2 SHEETS)                  |  |
| C1.01       | DEMOLITION PLAN                                |  |
| C2.01       | SITE PLAN                                      |  |
| C3.00       | GRADING & EROSION CONTROL PLAN                 |  |
| C4.00       | UTILITY PLAN                                   |  |
| C6.0        | LANDSCAPE PLAN                                 |  |
| EX1.0       | EXISTING DROP OFF/ PICK UP OPERATIONS          |  |
| EX2.0       | PROPOSED DROP OFF/ PICK UP OPERATIONS OPTION 1 |  |
| EX3.0       | PROPOSED DROP OFF OPERATIONS OPTION 2          |  |
| EX4.0       | PROPOSED DROP PICK UP OPERATIONS OPTION 2      |  |
| EX3.0       | FIRE TRUCK EXHIBIT                             |  |
| 001         | PHOTOMETRICS                                   |  |

## ENGINEER'S CERTIFICATION

HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016

SIGNED: \_\_\_\_\_ ENGINEER  
EXPIRATION DATE NOVEMBER, 30, 2017









**wight**

Wight & Company  
wightco.com  
2500 West Lawrence Road  
Darien, IL 60551  
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F 630.466.7979

**Aptakisic-Tripp School  
District 102  
1231 Welland Road  
Buffalo Grove, IL 60089**

06/22/2011  
PRELIMINARY ZONING CODED 05/25/2011  
25% DESIGN PROGRESS 05/05/2011  
REV. DESCRIPTION DATE  
**APTAKISIC JUNIOR HIGH**

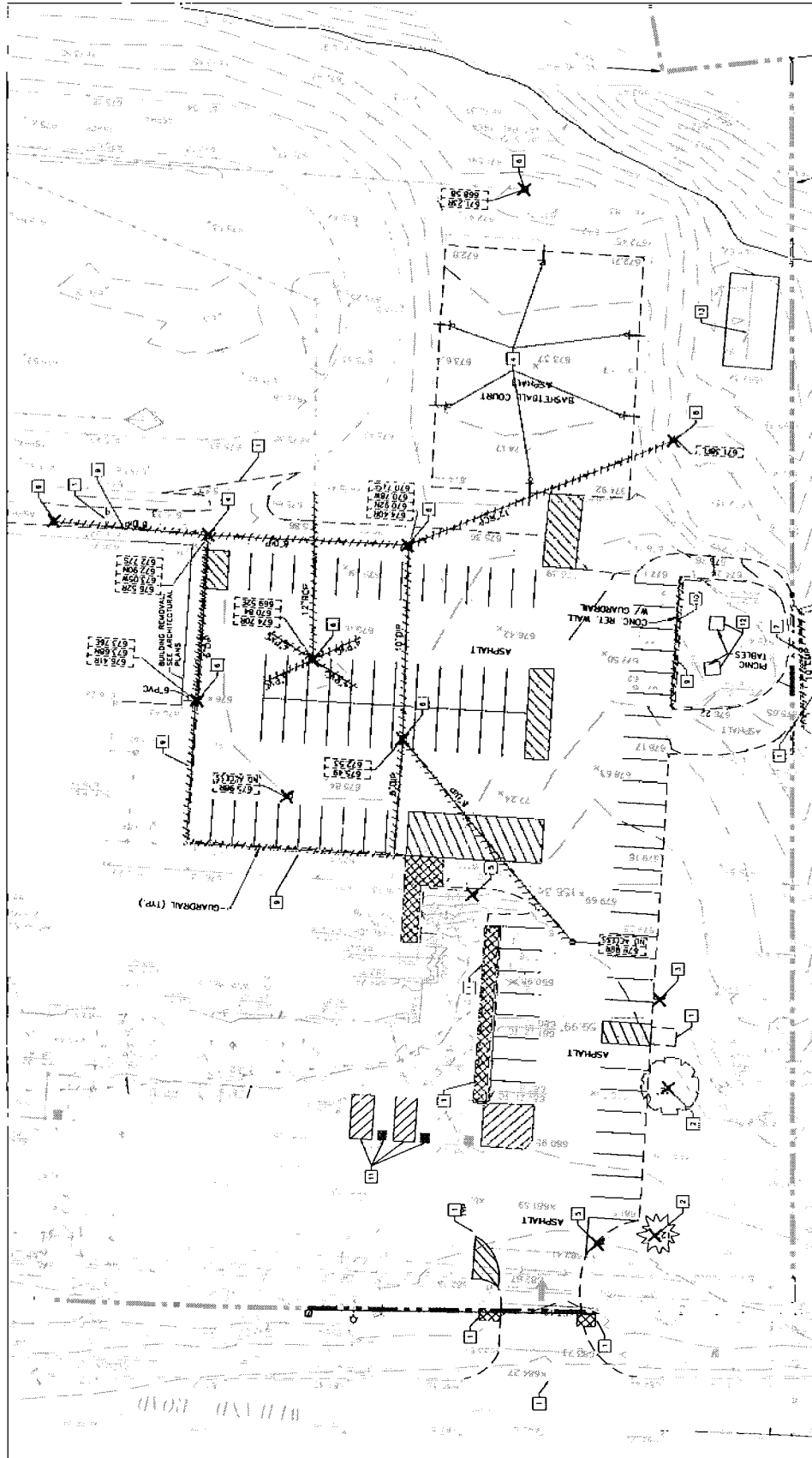
**1231 Welland Road  
Buffalo Grove, IL 60089**

**DEMOLITION PLAN**

Project Number: 2335-05  
Drawn By:  
Sheet:

**C1.01**

2.2.c



**KEY NOTES**

1. SAWCUT PAVEMENT/CURB & GUTTER/FOOTWALK AT NEAREST ADJACENT PROPERTY LINE.
2. REMOVE PAVEMENT.
3. REMOVE CURB.
4. REMOVE AND RELOCATE BASKETBALL HOOPS.
5. REMOVE SIGN.
6. REMOVE STRUCTURE.
7. REMOVE UTILITY LINE.
8. REMOVE FLARED END SECTION. RELOCATE IF IN GOOD CONDITION.
9. REMOVE GUARD RAIL.
10. REMOVE CONCRETE RETAINING WALL.
11. REMOVE PAVEMENT STRENGTH/STRENGTH.
12. REMOVE PAVEMENT TABLES AND FOUNDATION.
13. REMOVE SWING SET AND SURROUNDING PLAY SURFACE.

**LEGEND**

|                                              |      |
|----------------------------------------------|------|
| ITEM REMOVAL                                 |      |
| CONCRETE SLAB REMOVAL                        | X    |
| STONE BASE REMOVAL                           | //// |
| FULL DEPTH HMA PAVEMENT REMOVAL              | XXXX |
| HMA REMOVAL & REPLACEMENT FOR UTILITY TRENCH | XXXX |

**DEMOLITION NOTES:**

1. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION ACTIVITIES. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED. ANY DAMAGE TO UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER. ALL UTILITIES SHALL BE MAINTAINED AND PROTECTED. ANY DAMAGE TO UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
2. ALL EXISTING SIGNS & LIGHT POLES TO REMAIN AND BE PROTECTED UNLESS OTHERWISE SPECIFIED. ANY SIGNS & LIGHT POLES TO BE REMOVED SHALL BE MAINTAINED AND PROTECTED. ANY DAMAGE TO SIGNS & LIGHT POLES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
3. ANY SIGNS & LIGHT POLES TO BE REMOVED SHALL BE MAINTAINED AND PROTECTED. ANY DAMAGE TO SIGNS & LIGHT POLES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
4. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED. ANY DAMAGE TO UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
5. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED. ANY DAMAGE TO UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.



wight

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wrightco.com  
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F 630.946.7079

**Aptakisic-Tripp School  
District 102  
1231 Welland Road  
Buffalo Grove, IL 60089**

| REV                      | DESCRIPTION     | DATE       |
|--------------------------|-----------------|------------|
| 2%                       | DESIGN PROGRESS | 05/03/2017 |
| PRELIMINARY ZONING COORD |                 | 05/25/2017 |
| 100% DD                  |                 | 06/22/2017 |
| Bid Group 1 - 50% CD     |                 | 07/14/2017 |

**APTAKISIC JUNIOR HIGH**

**1231 Welland Road  
Buffalo Grove, IL 60089**

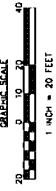
## SITE PLAN

Project Number: 5335-05

**Drawn By**

## C2.01

1 INCH = 20 FEET



- |    |                                                 |
|----|-------------------------------------------------|
| 11 | 1" X 10" BAR, TRAFFIC WHITE PAINT               |
| 12 | 4" X 6" SOLID STRIP, TRAFFIC WHITE PAINT        |
| 13 | TRAFFIC ARROW, TRAFFIC YELLOW PAINT. SEE DETAIL |
| 14 | STOP SIGN (R-1-1, 30 X 30)                      |
| 15 | CONCRETE PAVEMENT WITH HAND RAILS               |
| 16 | CONCRETE STEPS WITH HAND RAILS                  |
| 17 | CONCRETE STEPS                                  |

- ## KEY NOTES
- |    |                                                       |
|----|-------------------------------------------------------|
| 1  | PROST STOP - SEE DETAILS                              |
| 2  | BR12 CURB & OUTER                                     |
| 3  | DEPRESSED CURB                                        |
| 4  | 8" FLUSH CURB                                         |
| 5  | INTEGRAL CURB & SIDEWALK                              |
| 6  | ADA SIGN                                              |
| 7  | ADA DETECTABLE WARNING PLATE                          |
| 8  | ADA PARKING SPACE AND STRIPED STALL - 4' SOLO PARKING |
| 9  | 8" STRIP, 2" OC, 45 DEGREE ANGLE SEE DETAIL           |
| 10 | 8" SOLO PARKING STRIP, TRAFFIC WHITE PAINT,           |
| 11 | 4' SOLO PARKING STRIP, 4' OC, 45 DEGREE ANGLE TRAFFIC |
| 12 | YELLOW PAINT                                          |

- LEGEND**
- FULL DEPTH MMA PAYEMENT
  - CONCRETE/SIDEWALK
  - ADA DETECTABLE WARNING
  - INFILTRATION TRENCH
  - PERMEABLE PAVERS
  - CURB AND GUTTER
  - RECURSE FROM CURB

**LAYOUT NOTES:**

1. ALL LAYOUT FOR SITE IMPROVEMENTS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR HIRED BY THE CONTRACTOR. LAYOUT SHALL BE COMPLETED USING THE ELECTRONIC CAD FILES PROVIDED BY THE ENGINEER.



**wight**

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2500 North Freeway  
Denton, IL 60561  
P 630.969.7000  
F 630.969.7979

**Aptakisic-Tripp School  
District 102  
1231 Welland Road  
Buffalo Grove, IL 60089**

| REV | DESCRIPTION               | DATE       |
|-----|---------------------------|------------|
| 01  | 100% DD                   | 06/22/2017 |
| 02  | PRELIMINARY ZONING COORD. | 05/25/2017 |
| 03  | 75% DESIGN PROGRESS       | 05/03/2017 |
| 04  | Bid Group 1 - 50% CD      | 07/04/2017 |

**APTAKISIC JUNIOR HIGH**

**1231 Welland Road  
Buffalo Grove, IL 60089**

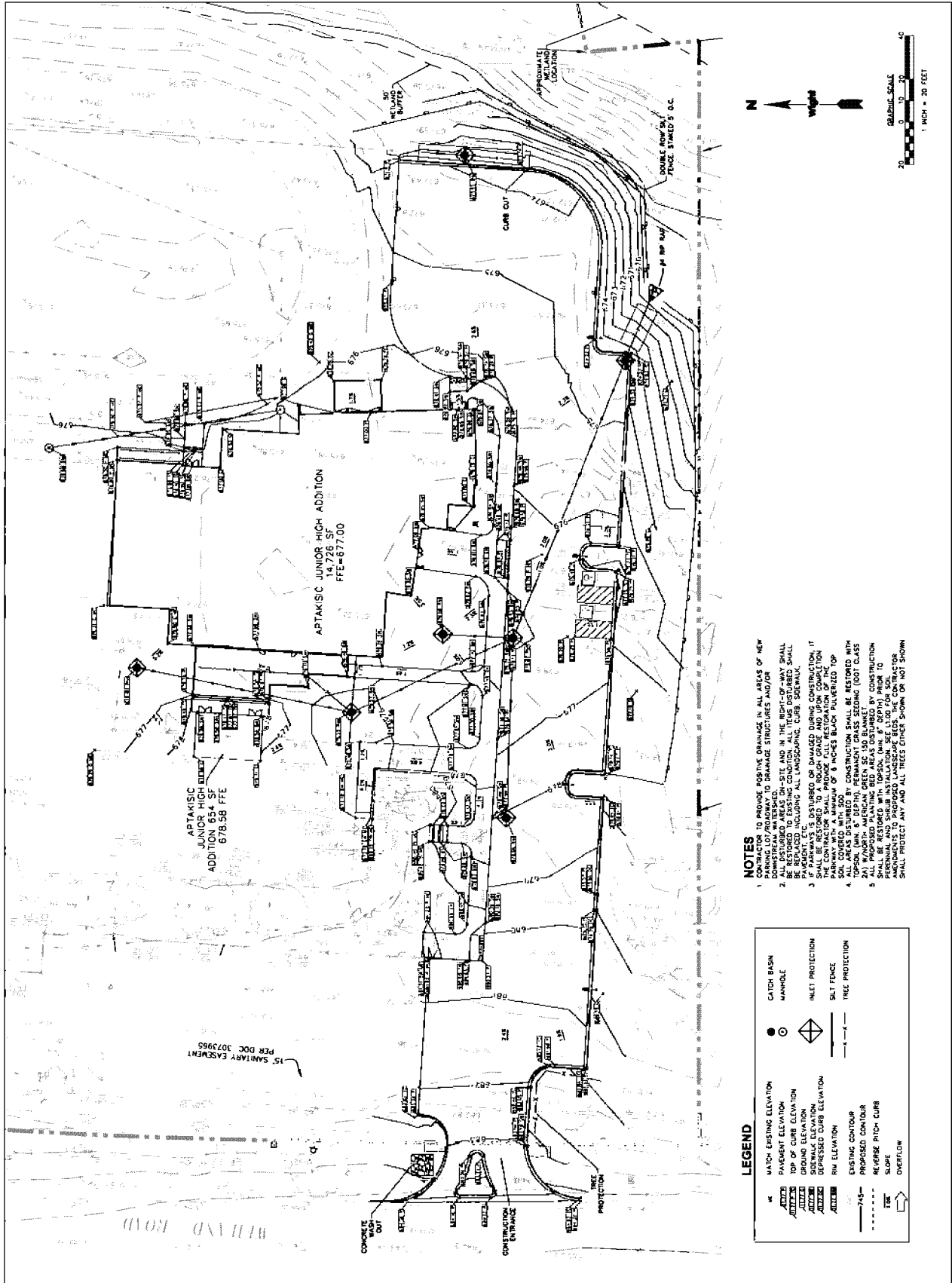
## GRADING & EROSION CONTROL PLAN

---

Project Number: 5235-05

**Drawn @**

**3.00**



## NOTES

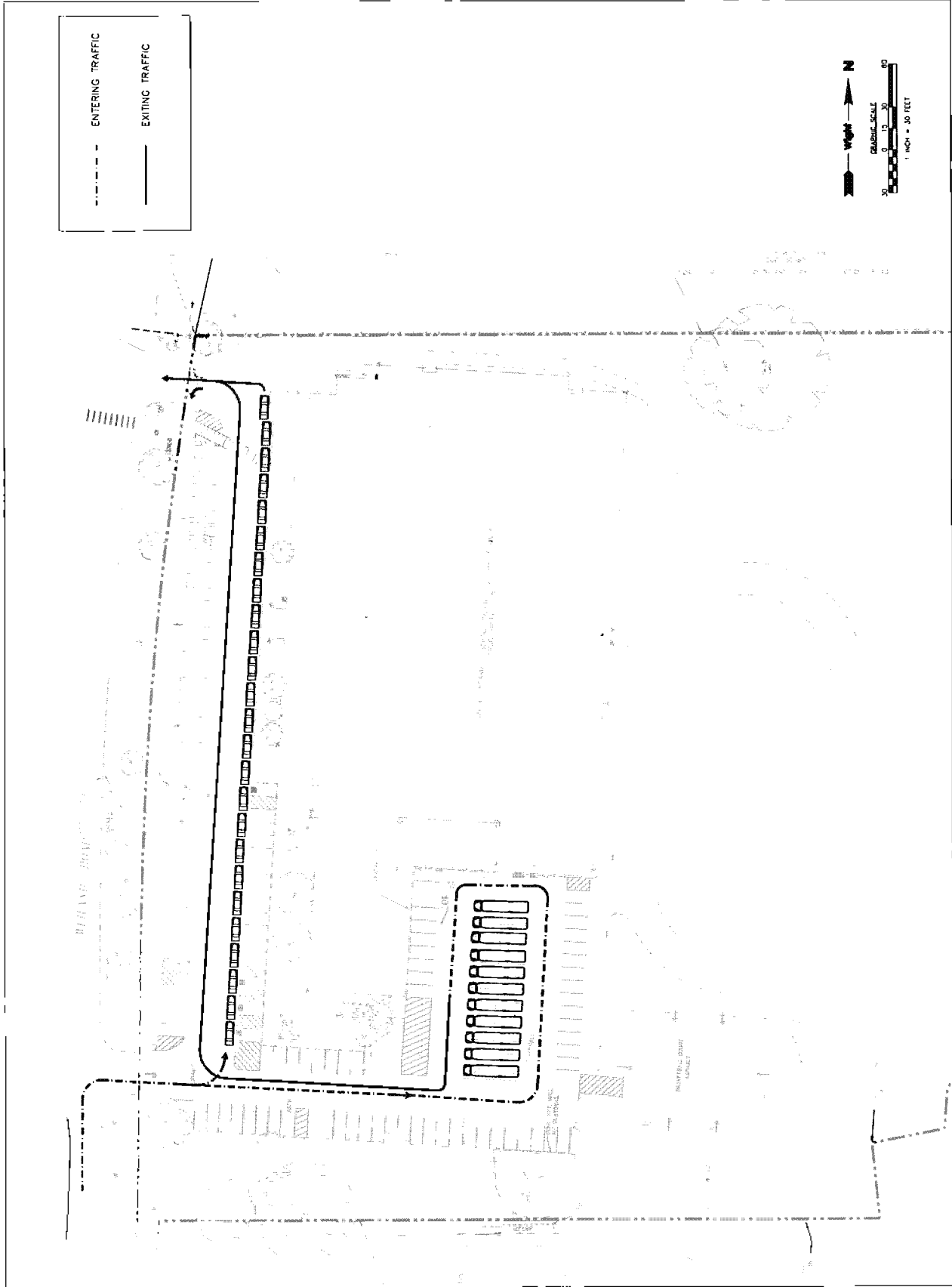
- NOTES**
1. DRAINING LOGS/STUMPS TO DAMAGE STRUCTURES AND/OR NEW CONSTRUCTION.
  2. DOWNSTREAM FLOODING TO BE PREVENTED. ALL NEW LOGS SHALL BE RESTORED TO FRESHWATER CONDITION. ALL TREES DESTROYED SHALL BE REPLACED INCLUDING ALL LANDSCAPING, CURB, SIDEWALK.
  3. FLOWWAYS IS DAMAGED OR DAMAGED DURING CONSTRUCTION, IT SHALL BE RESTORED TO A GOOD GRADE AND FLOW COMPLETION. FLOWWAYS SHALL BE RESTORED TO A GOOD GRADE AND FLOW COMPLETION PARALLEL WITH A MINIMUM OF 6 INCHES BLACK PULVERIZED TOP SOIL COVERED WITH 2 INCHES OF MULCH.
  4. LOGS CONSIDERED DAMAGED BY CONSTRUCTION SHALL BE RESTORED WITH TOP SOIL COVERED WITH 2 INCHES OF MULCH.
  5. ALL AMERICAN BIRCH 32' LOG BLANKS BY CONSTRUCTION SHALL BE REPLACED WITH TOPSOIL, 6" MIN. PRIOR TO PERMANENT AND SHED FOUNDATION. 100' LOGS SHALL BE REPLACED WITH TOPSOIL, 6" MIN. PRIOR TO PERMANENT AND SHED FOUNDATION. 100' LOGS SHALL PROTECT ANY AND ALL TREES EXPOSED SHOWN OR NOT SHOWN

### LEGEND

- |     |                          |   |                     |
|-----|--------------------------|---|---------------------|
| W   | WATCH EXISTING ELEVATION | ● | CATCH BASIN MANHOLE |
| PC  | PARALLEL ELEVATION       | ⊙ | INLET PROTECTION    |
| CE  | CURB ELEVATION           | ◊ | SILT FENCE          |
| DE  | DEPRESSION ELEVATION     | — | TREE PROTECTION     |
| SE  | SURFACED ELEVATION       |   |                     |
| DEP | DEPRESSED CURB ELEVATION |   |                     |
| BE  | BW ELEVATION             |   |                     |
| EC  | EXISTING CONTOUR         |   |                     |
| PC  | PROPOSED CONTOUR         |   |                     |
| MS  | REVERSE PITCH CURB       |   |                     |
| SS  | SLOPE                    |   |                     |
| TE  | OVERFLOW                 |   |                     |







**wight**

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F 630.589.7979

Aptakisic-Tripp School  
District 102  
1231 Weiland Road  
Buffalo Grove, IL 60089

00% DO 04/22/2017  
PRELIMINARY ZONING LOGNO 05/25/2017  
25% DESIGN PROGRESS 05/03/2017  
REV. DESCRIPTION DATE  
APTAKISIC JUNIOR HIGH

1231 Weiland Road  
Buffalo Grove, IL 60089

EXISTING DROP-OFF/PICK-UP  
OPERATIONS

Project Number: 3333-05  
Drawn By:  
Sheet

**EX 1.0**

2.2.c



**wight**

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2500 North Lawrence Road  
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F 630.466.2000  
F 630.466.2979

Aptakisic-Tripp School  
District 102  
1231 Welland Road  
Buffalo Grove, IL 60089

00% DO 06/22/2017  
PRELIMINARY ZONING CODED 05/25/2017  
25% DESIGN PROGRESS 05/03/2017  
REV. DESCRIPTION DATE

APTAKISIC JUNIOR HIGH

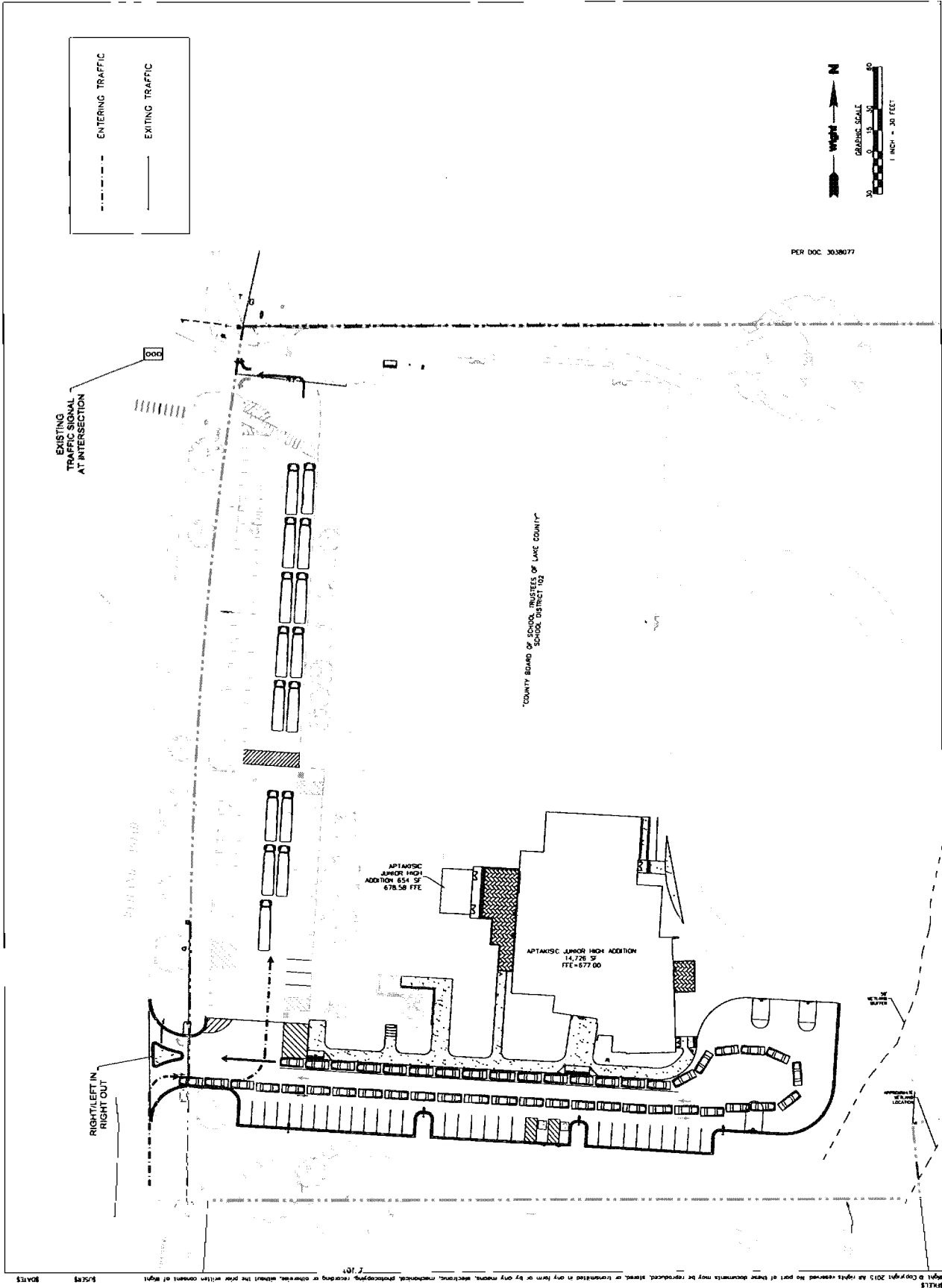
1231 Welland Road  
Buffalo Grove, IL 60089

PROPOSED DROP OFF/PICK  
UP OPTION 1

Project Number 1233-03  
Drawn By  
Sheet

**EX 2.0**

2.2.c









**wight**

Wight & Company  
wightco.com  
3000 North Lincoln Road  
Darien, IL 60541  
708.344.1000  
FAX 708.344.2979

Aptakisic-Tripp School  
District 102  
1231 Welland Road  
Buffalo Grove, IL 60089

0000 20 04/02/2017  
PRELIMINARY LAYOUT 05/05/2017  
200 DESIGN REQUEST 05/05/2017  
REV DESCRIPTION DATE  
APTAKISIC JUNIOR HIGH

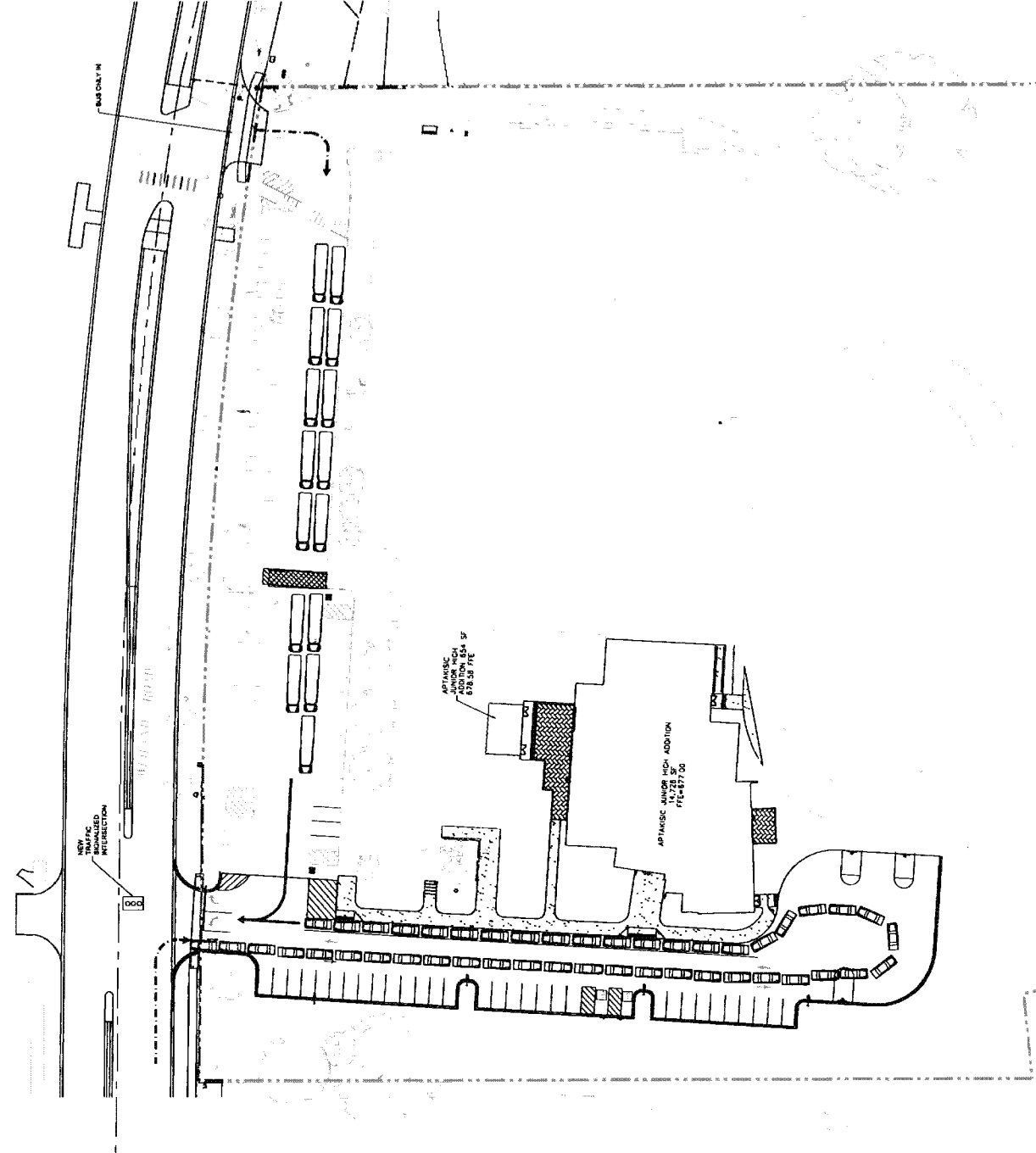
1231 Welland Road  
Buffalo Grove, IL 60089

PROPOSED PICK UP  
OPERATIONS OPTION 2

Project Number 2125-15  
Drawn By

**EX 4.0**

2.2.c



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Aptakisic-Tripp School  
District 102  
1231 Welland Road  
Buffalo Grove, IL 60089

00% 20 06/22/2017  
PRELIMINARY ZONING COORD. 05/25/2017  
75% DESIGN PROGRESS 05/03/2017  
REV. DESCRIPTION DATE

APTAKISIC JUNIOR HIGH

1231 Welland Road  
Buffalo Grove, IL 60089

FIRE TRUCK EXHIBIT

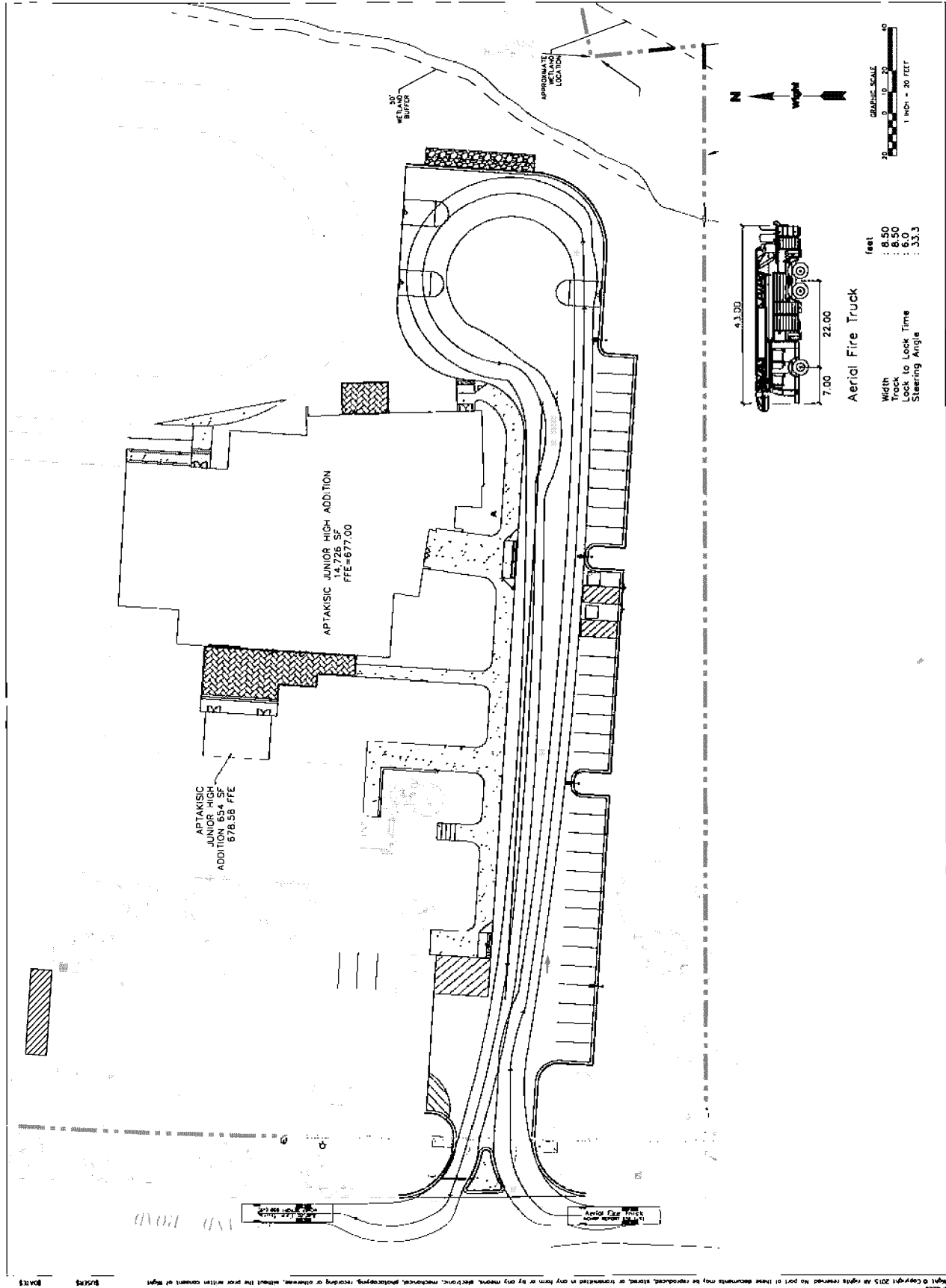
Project Number: 3233-03

Drawn By

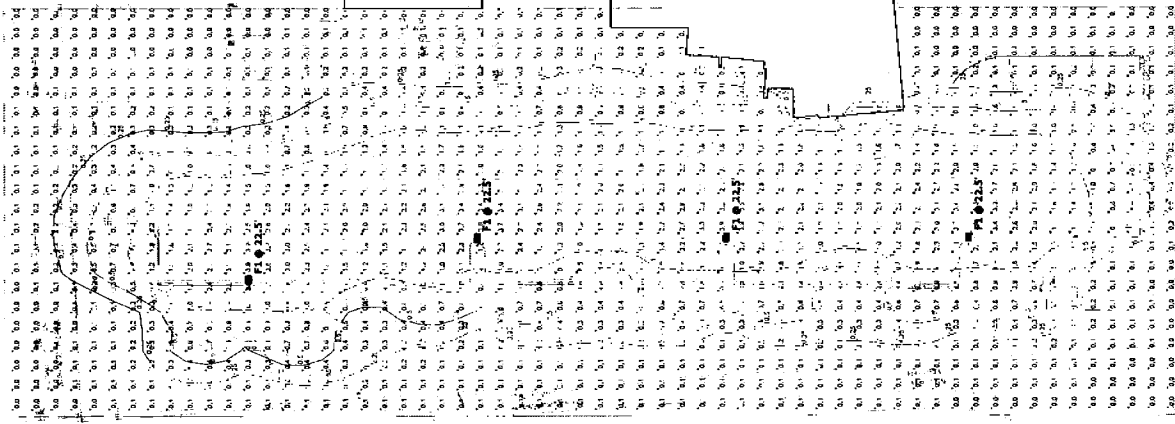
Sheet

**EX5.0**

2.2.c



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Plan View

Statistics

| Description                   | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min |
|-------------------------------|--------|--------|--------|--------|---------|---------|
| ALL CALC POINTS - GRADE LEVEL | +      | 0.7 fc | 3.9 fc | 0.0 fc | N/A     | N/A     |
| PAVED PARKING AREA ONLY       | X      | 1.8 fc | 3.9 fc | 0.1 fc | 39.0:1  | 18.0:1  |

Notes:

1. CALCULATION POINTS ARE AT GRADE LEVEL.
2. FIXTURES ARE MOUNTED AT 22'-5" ABOVE GRADE (20' POLES ON 30" CONCRETE BASES)
3. CALCULATIONS PROVIDED ARE NOT A GUARANTEE OF PERFORMANCE. ACTUAL LIGHT LEVELS MAY VARY.\*\*

Schedule

| Item | Label | Image | Quantity | Description                                                 | Unit | File Name                    | Number | Lamp | Wattage |
|------|-------|-------|----------|-------------------------------------------------------------|------|------------------------------|--------|------|---------|
| 1    | F1    |       | 4        | DSX1 LED with 60 LEDs @ 700 mw, 4000K, TYPE 3 MEDIUM OPTICS | LED  | DSX1_LED_400-700-40K_T3M_V01 | 1      | 1000 | 131     |



Aptekisic-Tripp D102

# wight

**Wright & Company**  
wrightco.com  
2500 North Frontier  
Orem, IL 60561  
P 830.989.7000  
F 830.989.7979

NOT FOR  
CONSTRUCTION

1231 Weiland Rd  
 Buffalo Grove, IL  
 60089

Project Number:  
5235-08  
Drawn By:  
Sheet:

# ZA3.0

**Aptakisic-Tripp D102**

**Wight & Company**  
wightco.com  
2550 North Franchise Road  
Deerfield, IL 60015  
P 630.889.7000  
F 630.889.7970

NOT FOR CONSTRUCTION

REV 100% DO 06/21/2017 DATE

DESCRIPTION

**APTAKISIC JUNIOR HIGH SCHOOL - ADDITION & RENOVATIONS**

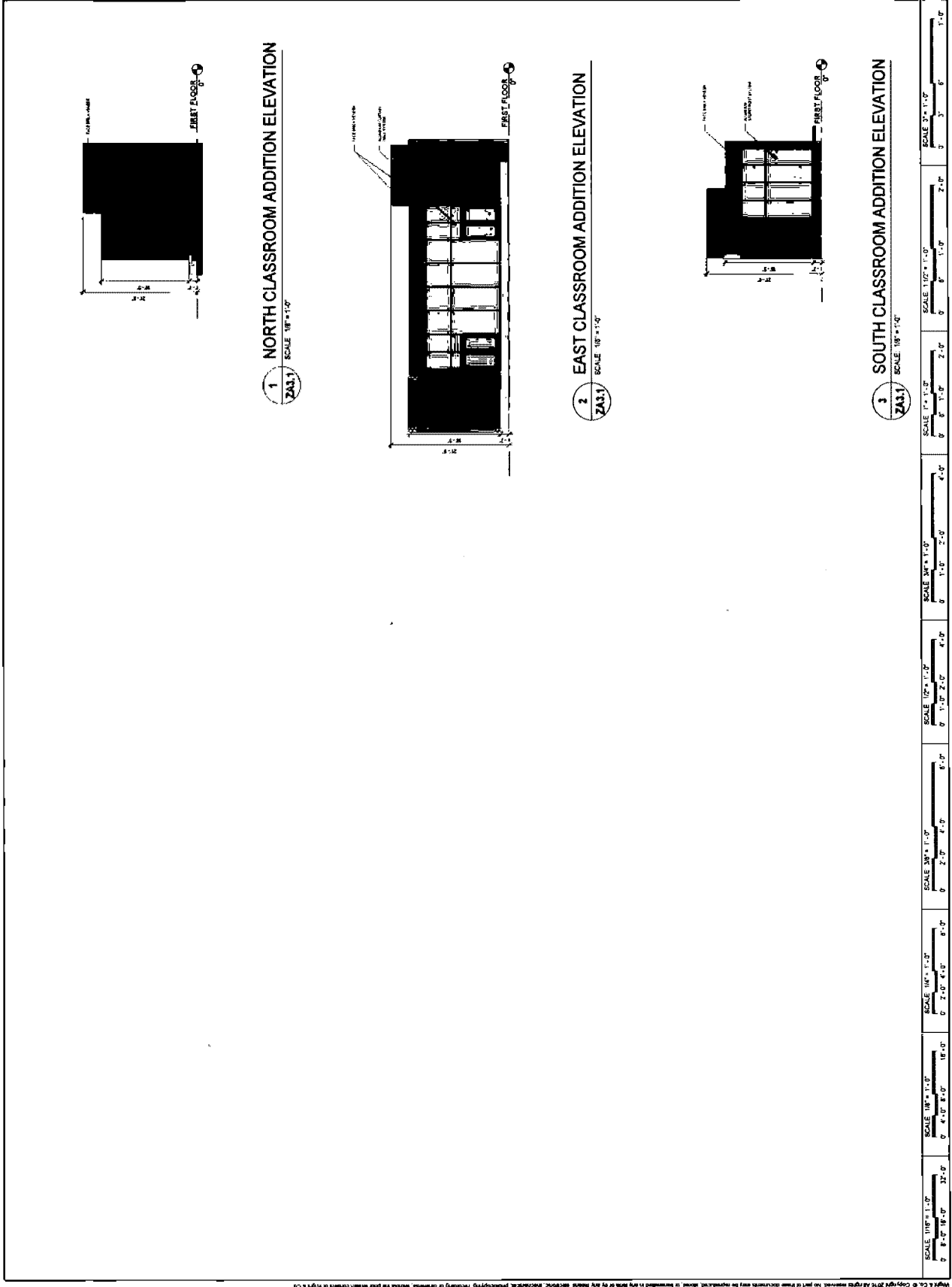
1231 Welland Rd  
Buffalo Grove, IL

**CLASSROOM ADDITION ELEVATION**

Project Number: 2017-035  
Client: Aptakisic  
Owner: Aptakisic  
Architect: Wight & Company

**ZA3.1**

2.2.c



**MINUTES OF THE REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION OF THE  
VILLAGE OF BUFFALO GROVE HELD IN THE COUNCIL CHAMBERS, 50 RAUPP BOULEVARD,  
BUFFALO GROVE, ILLINOIS ON WEDNESDAY, NOVEMBER 15, 2023**

---

**Call to Order**

The meeting was called to order at 7:30 PM by Chair Mitchell Weinstein

**Public Hearings/Items For Consideration**

1. Consider a Amendment to the Special Use to Allow Torah Academy to Modify the Conditions of Approval Set Forth in Ordinances 2014-052 and 2015-043, Which Limit the Maximum Enrollment of Students Until Certain Improvements to the Parking Lot at 720 Armstrong Drive. (Trustee Weidenfeld) (Staff Contact: Andrew Binder)

*Petitioners were sworn in.*

*Binder, Associate Planner, provided a background on the subject property and the request.*

*Lawrence Freedman and Rabbi Steven Zehnworth, spoke on behalf of Torah Academy, and discussed the overall request to amend the Special Use Ordinance.*

*Freedman indicated that while the school has expanded their enrollment, it is not to the extent they originally anticipated. He stated many of the students arrive by van, which only takes up one parking space.*

*Freedman further noted that the parking lot was expanded by 50% a few years ago and the petitioner feels that the parking lot is adequate as improved. He noted that staff observed the traffic conditions and on-street drop-off was the only concern. He stated the conditions of approval address this concern and the petitioner fully agrees to the condition.*

*Com. Spunt inquired about the playground open space next to the parking spaces. Binder responded that it is an open field, and the staff is not concerned about safety issues.*

*Zehnworth indicated that there is a chain link fence between the play area and the parking lot.*

*Com. Davis asked with the increase in students, will there be an expected change in parking spaces. The petitioner responded that the student increase would not pose an impact to parking spaces, as they anticipate the same ratio will carpool.*

*Com. Richards asked the petitioner to explain the traffic flow of pickups and drop offs. The petitioner indicated that those coming to drop-off will use the closest spaces, while those that are coming to stay will park further away.*

*Com. Richards asked if the internal facilities are large enough to accommodate 60 students.*

*The petitioner indicated that they will continue to build out classroom, bathroom and kitchen areas to accommodate additional students.*

*Com. Richards indicated that the original parking lot had a turnaround area, and the parking lot is now straighter. He asked the reason for the change.*

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*The petitioner verbalized that he doesn't want the playground area impacted for parking and such a low volume of traffic.*

*Com. Richards asked if there is any issue with the layout of the parking lot for fire trucks.*

*Binder noted that emergency vehicles have a safe pathway to the school and its students.*

*Chairman Weinstein asked with an increase in student to employee ratios, would that require additional parking. The petitioner clarified that students come in groups, by van transport.*

*Chairman Weinstein asked what would happen if 60 people arrived in 60 cars.*

*Freedman responded, in the unlikely event that would be the case, the condition recommended by staff would address the concern. Drop off and pick up would not be able to take place within the parking lot, and the Village could request additional improvements.*

*Com. Worlikar asked if there would be a stacking issue. Binder confirmed it would not be an issue based on staff's observations of the traffic performed prior to the meeting.*

*The public hearing closed at 7:50 PM.*

*Com. Richards made to make a positive recommendation to the Village Board to allow an amendment to Ordinance No. 2014-052, as amended by Ordinance No. 2015-43, which approved a Special Use to allow Torah Academy to operate a childcare facility and preschool/elementary school in the industrial district at 720 Armstrong Drive subject to the following conditions:*

1. *Condition 2 of Ordinance 2015-43 is hereby amended and replaced with the following new condition 2:*  
*"A maximum of sixty (60) students are allowed on the Property. The revised parking lot layout labeled 'Proposed Torah Academy Parking Lot Striping Plan - dated 9/12/2022'" shall be implemented with parking lot signage and/or paint. Prior to the start of each school year, the petitioner shall provide the Village with the projected enrollment for the upcoming school year."*
2. *Drop-off/pick-up operations shall solely take place on the subject property. If at any time, enrollment reaches a point where traffic operations cannot be accommodated on site, additional improvements to the parking lot may be required at the Village's discretion.*
3. *Except for those conditions specifically amended as part of this request, all other conditions of Ordinances 2014-52 and 2015-43 shall remain in full force and effect.*

*Com. Spunt seconded the motion.*

*Com. Worlikar spoke in favor of the motion and indicated that he does not want kids being dropped off on Armstrong Drive, but that with the number of kids carpooling, the request makes sense.*

Minutes Acceptance: Minutes of Nov 15, 2023 7:30 PM (Approval of Minutes)



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|                |                                                     |
|----------------|-----------------------------------------------------|
| <b>RESULT:</b> | <b>RECOMMENDATION TO APPROVE [UNANIMOUS]</b>        |
| <b>AYES:</b>   | Spunt, Weinstein, Richards, Worlikar, Davis, Saxena |
| <b>ABSENT:</b> | Adam Moodhe, Amy Au                                 |

2. Consider an Amendment to Ordinance No. 1998-14, as Amended through Ordinance No. 2021-53, to Expand the Uses Permitted Within the Golf Dome Facility to Include the Sale and Consumption of Alcohol at 801 McHenry Road (Trustee Weidenfeld) (Staff Contact: Andrew Binder)

*Chairman Weinstein stated that his firm represents the Buffalo Grove Park District on many matters but is not associated or working on the subject project. He indicated, as such he does not feel that a conflict exists and will not be recusing himself.*

*The petitioners were sworn in.*

*Binder, Associate Planner, provided a background on the subject property and the petitioners' requests.*

*Joe Zimmerman, spoke on behalf of the Buffalo Grove Park District, thereby discussed the need to allow alcohol sales and that the service would enhance and provide additional revenues to the facility.*

*Com. Richards asked for a forecasted amount of revenue expected to be brought in. Zimmerman did not have an estimate at this time. Zimmerman discussed other park district events and facilities that serve alcohol.*

*Com. Richards inquired about the staff training plan. The petitioner said the training covers over consumption recognition, patron service, ride offerings, and summarized TIPS training information.*

*Com. Davis asked serving ages and the petitioner responded that the Buffalo Grove ordinance requires you to be 21 to serve.*

*Com. Worlikar inquired whether customers are asking for this. He asked if it was for service enhancements or purely for revenue means.*

*Zimmerman responded the idea, change, and added service was based on where the trends are going for similar golf facilities.*

*Com. Saxena asked what the last serving time is, and the petitioner confirmed it was at 7:30pm.*

*The petitioner said they would also be serving snacks.*

*The public hearing was closed at 8:09pm.*

*Com. Richards made a motion to make a positive recommendation to the Village Board to allow an amendment to Ordinance No. 98-14, as amended through Ordinance No. 2021-53, to expand the uses permitted within the Golf Dome Facility at 801 McHenry Road to include the sale and consumption of alcohol, subject to the following conditions:*

1. Section 2. of Ordinance 2021-53 is hereby amended as follows:
3. C. The Buffalo Grove Park District shall be permitted to sell alcohol for consumption within the Golf Dome Facility.

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3. D The Buffalo Grove Park District shall obtain a liquor license pursuant to the Village of Buffalo Grove Municipal Code prior to selling any alcoholic beverages on the premises.
2. All references, conditions, and obligations to the Property in Ordinance 2021-53, not otherwise amended by this amendment, shall remain in full force and effect.

*Com. Davis seconded the motion.*

*Com. Spunt spoke in favor of the motion noting he had not realized they didn't offer alcohol now.*

*Chairman Weinstein spoke in favor of the motion and indicated that serving alcohol in such an environment is not an unusual thing.*

*Com. Worlikar spoke in favor of the motion indicating that other similar venues such as Top Golf serve alcohol, and to maintain fairness the request is warranted.*

|                |                                                     |
|----------------|-----------------------------------------------------|
| <b>RESULT:</b> | <b>RECOMMENDATION TO APPROVE [UNANIMOUS]</b>        |
| <b>AYES:</b>   | Spunt, Weinstein, Richards, Worlikar, Davis, Saxena |
| <b>ABSENT:</b> | Adam Moodhe, Amy Au                                 |

3. Consideration of a Petition for an Amendment to the Park Preliminary Plan Approved by Ordinance No. 1989-017, a Special Use for a Public Park, and a Zoning Variation from the Off-Street Parking Requirements, to Accommodate Proposed Improvements to Parkchester Park, at 851 Weiland Road (Trustee Weidenfeld) (Staff Contact: Kelly Purvis)
- Chairman Weinstein stated that his firm represents the Buffalo Grove Park District on some projects but is not associated or working on the subject project. As such he did not find a conflict with his participation in the discussion.*
- The petitioners were sworn in from Buffalo Grove Park District - Laurie Hoffman, Erika Strojinc, Maria Blood (Consultant)*
- Purvis, Deputy Community Development Director, presented the background on the subject property and the petitioners' requests.*
- Hoffman, Planning and Development Manager for Buffalo Grove Park District, concurred with Purvis' presentation and answered questions related to the requested Parkchester Park Improvement Plan.*
- Com. Spunt questioned the overflow and asked what options are there for pedestrians. Blood responded that the sidewalk continues to extend into the trail and the Park District will be adding directional signs.*
- Chairman Weinstein asked about the reason for the parking lot addition. The petitioner explained it was a request from Buffalo Grove residents and it brings the site into further compliance with the Village Ordinance requirements.*
- Chairman Weinstein asked about noise considerations regarding the proposed pickleball courts.*
- Blood said there is only one court verses multiple courts so this limits noise concerns, and the location of the one court is furthest from the residents, at about 300 feet.*

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*Com. Worlikar asked about pedestrian access. Sianis showed the crossings and access points near Deerfield Parkway, Newton Drive, and the midblock crossing. Sianis indicated that all pedestrian crossings were designed and completed with the Weiland Road project.*

*Com. Worlikar asked about any improvements done to Weiland Road following the pedestrian accident?*

*Sianis stated the only improvements were done with the Weiland Road project.*

*Com. Richards asked if the East side was the only access with the sidewalk?*

*Sianis confirmed it was.*

*Com. Richards asked about community input and Purvis responded that one resident asked about the plans, but no other calls or comments were received.*

*Chairperson Weinstein asked why there are only two fishing spots?*

*Lori Hoffman stated that it was the intent to create specific locations for fishing so that vegetation could be added around the detention pond.*

**Public comment**

*Buffalo Grove resident from 410 Parkchester, asked to see the location of the parking lot. Purvis responded, showing the approximate location of the lot. He also asked about pickleball court location and if there are lights proposed.*

*Strojinc confirmed that there are no lights proposed for the project.*

**The public hearing closed at 8:32 PM.**

*Com. Richards made a motion to recommend approval of the requested amendment to Ordinance No. 1989-017, a Preliminary Plan, a Special Use for a public park, and a Variation from the off-street parking regulations to accommodate the above-described improvements to Parkchester Park at 851 Weiland Road, subject to the following conditions:*

- 1. The proposed park improvements shall be constructed in substantial conformance with the plans attached as part of the petition.*
- 2. The Final Engineering plans shall be submitted in a manner acceptable to the Village.*
- 3. Any directional or incidental signage added to the site shall be reviewed administratively by staff.*

*Com. Davis seconded the motion and spoke in favor of the motion. He indicated he was pleased with the proposed improvements.*

*Chairman Weinstein spoke in favor of the motion and thanked the Buffalo Grove Park District for the public engagement with the neighborhood.*

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*Com. Worlikar spoke in favor of the motion. He liked the changes and updates. He commended the Park District's efforts and appreciated the placement of the Pickleball court.*

|                |                                                     |
|----------------|-----------------------------------------------------|
| <b>RESULT:</b> | <b>RECOMMENDATION TO APPROVE [UNANIMOUS]</b>        |
| <b>AYES:</b>   | Spunt, Weinstein, Richards, Worlikar, Davis, Saxena |
| <b>ABSENT:</b> | Adam Moodhe, Amy Au                                 |

## **Regular Meeting**

### **Other Matters for Discussion**

#### **Approval of Minutes**

1. Planning and Zoning Commission - Regular Meeting - Oct 18, 2023 7:30 PM

|                |                                                     |
|----------------|-----------------------------------------------------|
| <b>RESULT:</b> | <b>ACCEPTED [UNANIMOUS]</b>                         |
| <b>AYES:</b>   | Spunt, Weinstein, Richards, Worlikar, Davis, Saxena |
| <b>ABSENT:</b> | Adam Moodhe, Amy Au                                 |

2. Planning and Zoning Commission - Regular Meeting - Nov 1, 2023 7:30 PM

|                 |                                              |
|-----------------|----------------------------------------------|
| <b>RESULT:</b>  | <b>ACCEPTED [5 TO 0]</b>                     |
| <b>AYES:</b>    | Spunt, Weinstein, Richards, Worlikar, Saxena |
| <b>ABSTAIN:</b> | Jason Davis                                  |
| <b>ABSENT:</b>  | Adam Moodhe, Amy Au                          |

### **Chairman's Report**

#### **Committee and Liaison Reports**

The Committee Liaison indicated that Lazy Dog was approved at the previous Village Board meeting.

#### **Staff Report/Future Agenda Schedule**

Staff indicated that two Special Use Amendments are slated for consideration at the 12/6/23 meeting. It is anticipated that the 12/20/23 meeting will be cancelled.

#### **Public Comments and Questions**

None

## **Adjournment**

The meeting was adjourned at 8:39 PM

\_\_\_\_\_  
Kelly Purvis

APPROVED BY ME THIS 15th DAY OF November, 2023

11/15/2023

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Mitchell Weinstein, Commissioner

Minutes Acceptance: Minutes of Nov 15, 2023 7:30 PM (Approval of Minutes)