



Meeting of the Village of Buffalo Grove Planning and Zoning Commission

**Regular Meeting
February 1, 2023 at 7:30 PM**

Fifty Raupp Blvd
Buffalo Grove, IL 60089-2100
Phone: 847-459-2500

I. Call to Order

II. Public Hearing/Items for Consideration

Public Comment is limited to items that are not on the regular agenda. In accordance with Section 2.02.070 of the Municipal Code, discussion on questions from the audience will be limited to 10 minutes and should be limited to concerns or comments regarding issues that are relevant to Planning and Zoning Commission business. All members of the public addressing the Planning and Zoning Commission shall maintain proper decorum and refrain from making disrespectful remarks or comments relating to individuals. Speakers shall use every attempt to not be repetitive of points that have been made by others. The Planning and Zoning Commission may refer any matter of public comment to the Village Manager, Village staff or an appropriate agency for review.

1. A Public Hearing to Consider a Request to the Village of Buffalo Grove for Approval of a Preliminary Plan to Construct an Off-Street Parking Facility at 901 Corporate Grove Drive. (Trustee Pike) (Staff Contact: Andrew Binder)
2. A Public Hearing to Consider Requests for a Text Amendment, Special Use, Preliminary Plan, and Zoning Variations to Allow the Relocation of the Village of Buffalo Grove's Public Works Department to a Facility Located at 1650 Leider Lane, and to Allow Construction of New Accessory Structures on the Property for the Storage of Salt and Other Dry Materials (Trustee Johnson) (Staff Contact: Kelly Purvis)

III. Regular Meeting

A. Other Matters for Discussion

B. Approval of Minutes

1. Planning and Zoning Commission - Regular Meeting - Dec 7, 2022 7:30 PM

C. Chairman's Report

D. Committee and Liaison Reports

E. Staff Report/Future Agenda Schedule

F. Public Comments and Questions

Public Comment is limited to items that are not on the regular agenda. In accordance with Section 2.02.070 of the Municipal Code, discussion on questions from the audience will be limited to 10 minutes and should be limited to concerns or comments regarding issues that are relevant to Planning and Zoning Commission business. All members of the public addressing the Planning and Zoning Commission shall maintain proper decorum and refrain from making disrespectful remarks or comments relating to individuals. Speakers shall use every attempt to not be repetitive of points that have been made by others. The Planning and Zoning Commission may refer any matter of public comment to the Village Manager, Village staff or an appropriate agency for review.

IV. Adjournment

The Planning and Zoning Commission will make every effort to accommodate all items on the agenda by 10:30 p.m. The Board, does, however, reserve the right to defer consideration of matters to another meeting should the discussion run past 10:30 p.m.

V. Action Items

The Village of Buffalo Grove, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities, contact the ADA Coordinator at 459-2525 to allow the Village to make reasonable accommodations for those persons.



Action Item : A Public Hearing to Consider a Request to the Village of Buffalo Grove for Approval of a Preliminary Plan to Construct an Off-Street Parking Facility at 901 Corporate Grove Drive.

Recommendation of Action

The subject property at 901 Corporate Grove Drive is a 1.9-acre vacant lot. In 2013, the property was subdivided from 951 Corporate Grove Drive, which is located directly east of the site. The petitioner, Chris Gano of Flextronics International, is seeking to construct a new 154-space parking lot on the property. The proposed off-street surface parking lot will supplement the existing parking for the Flextronics International facility, which is located directly west of the site at 700 Corporate Grove Drive, as shown in Figure 1. Flextronics also has facilities at 800 Corporate Grove and in part of the building at 850 Asbury Drive.

The Planning & Zoning Commission (PZC) shall open the public hearing and take public testimony concerning the request for approval of a Preliminary Plan to allow the construction of an off-street parking lot on the property at 901 Corporate Grove Dr. The PZC shall make a recommendation to the Village Board regarding the requested preliminary plan approval.

ATTACHMENTS:

- Staff Report - 901 Corporate Grove Dr (PDF)
- Plan Set - 901 Corporate Grove Dr (PDF)

Trustee Liaison
Pike

Staff Contact
Andrew Binder, Community Development

Wednesday, February 1,
2023

MEETING DATE:	February 1, 2023
SUBJECT PROPERTY LOCATION:	901 Corporate Grove Dr, Buffalo Grove, IL 60089
PETITIONER:	Chris Gano, Flextronics International
PREPARED BY:	Andrew Binder, Associate Planner
REQUEST:	A Petition to the Village of Buffalo Grove for approval of a preliminary plan to construct an off-street parking facility at 901 Corporate Grove Drive.
EXISTING LAND USE AND ZONING:	The property is zoned I: Industrial District and is currently a vacant lot.
COMPREHENSIVE PLAN:	The Village Comprehensive Plan calls for this property to be an industrial use.

PROJECT BACKGROUND

The subject property at 901 Corporate Grove Drive is a 1.9-acre vacant lot. In 2013, the property was subdivided from 951 Corporate Grove Drive, which is located directly east of the site. The petitioner, Chris Gano of Flextronics International, is seeking to construct a new 154-space parking lot on the property. The proposed off-street surface parking lot will supplement the existing parking for the Flextronics International facility, which is located directly west of the site at 700 Corporate Grove Drive, as shown in Figure 1. Flextronics also has facilities at 800 Corporate Grove and in part of the building at 850 Asbury Drive.

The proposed plan complies with all applicable ordinances, and the off-street parking lot is a permitted use in the industrial district. However, preliminary plan approval is required prior to the issuance of a building permit.

PLANNING & ZONING ANALYSIS

Use & Setbacks

- Accessory parking facilities, provided elsewhere than on the same zoning lot as the principal use, are permitted in the Industrial District.
- The Petitioner has indicated that the Flextronics’ building at 700 Corporate Dr does not currently have adequate parking to serve the facility during peak hours of operation. Flextronics employs approximately 1,100 employees with varying shifts for different kinds of workers at their three facilities at 700 and 800 Corporate Grove Drive and 850

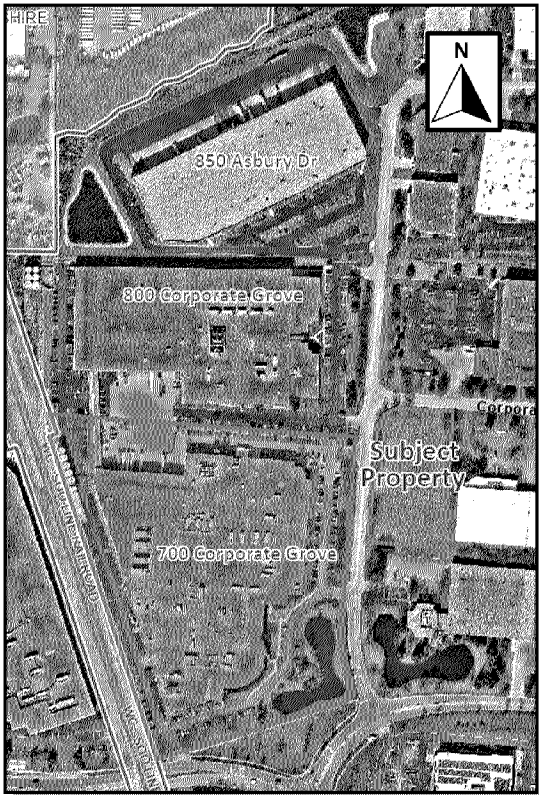


Figure 1 : Subject Property Location Map

Asbury Lane. Production workers are on site 7 days a week (staff alternates 3 days on, 3 days off, 4 days on, 4 days off) for a day shift (6am-6pm) and a night shift (6pm -6am). Office workers are on site Monday – Friday from 7am - 4pm. The shift with the most employees is the day shift Monday - Friday, with approximately 475 employees at the Buffalo Grove Campus.

- Currently, Flextronics has a total of 524 parking stalls at their Buffalo Grove Campus (See Table 1), which meets the Village's parking requirements for their peak demand (day shift). The Village Code requires manufacturing/industrial uses to have 2 parking stalls for every 3 employees (317 spaces would be required for the peak day shifts). With the addition of the new parking lot at 901 Corporate Drive, Flextronics will have a total of 678 parking stalls for their Buffalo Grove Campus. The new parking lot will be used to serve the 700 Corporate Grove building. The parking for the other two buildings seems to be sufficient at this time.

Table 1: Flextronics Buffalo Grove Campus Parking	
Facility Building	# of Parking Stalls
700 Corporate Grove Dr	343
800 Corporate Grove Dr	108
850 Asbury Drive	73
Total of Existing	524
<i>901 Corporate Grove</i>	<i>154</i>
Proposed Total	678

- The proposed parking lot facility meets all setback requirements for off-street parking facilities within the Industrial District.

Access, Circulation & Parking Lot Dimensions

- Two access drives are proposed for the new parking lot. One access drive will be located at the northeast end of the site and the other will be located at the southwest side of the site.
- Two-way circulation is proposed along the north, south and east perimeter of the parking lot. One-way drive aisles are proposed along the west side and middle of the parking lot.
- All proposed parking stall, drive aisle and access drive dimensions are in compliance with the Village requirements for off-street parking facilities.

Pedestrian Access

- New sidewalks will be installed on the east side of the 700 Corporate Grove Drive property and the west side of the 901 Corporate Grove property to provide pedestrian access from the parking lot to the main entrance of the building.

ADA Compliance

- With the addition of 154 new parking stalls to serve Flextronics, the minimum number of required ADA-accessible parking stalls will increase from 8 stalls to 9 stalls. Flextronics currently meets this requirement as 9 ADA-accessible parking stalls are provided within their parking lot at the 700 Corporate Grove facility. The applicant proposes adjusting two of their existing ADA stalls to meet ADA requirements for large van parking.

- The pedestrian crossing proposed on Corporate Grove Drive has been reviewed by Engineering for ADA compliance, and the Engineering plans meet the grading requirements.

Landscaping

- The petitioner has provided a landscape plan showing new landscaping proposed throughout the site, (see Figure 2).
- Compliant landscape islands and parking lot screening are proposed. The parking lot will be screened on the west and north side of the property with berms and landscaping. The berms will be a total of 3 feet in height. The parking lot will also have two vegetated swales at the site's north and south ends.
- The landscaping includes a mixture of ornamental grasses, evergreen shrubs, and maple trees.

Lighting & EV Charging

- Ground mounted pole lighting will be used to illuminate the site. The footcandle level for the pole lighting at the property line will not exceed .5, which complies with Village requirements.
- The proposed parking lot will also accommodate six new EV charging stations on the north side of the property.

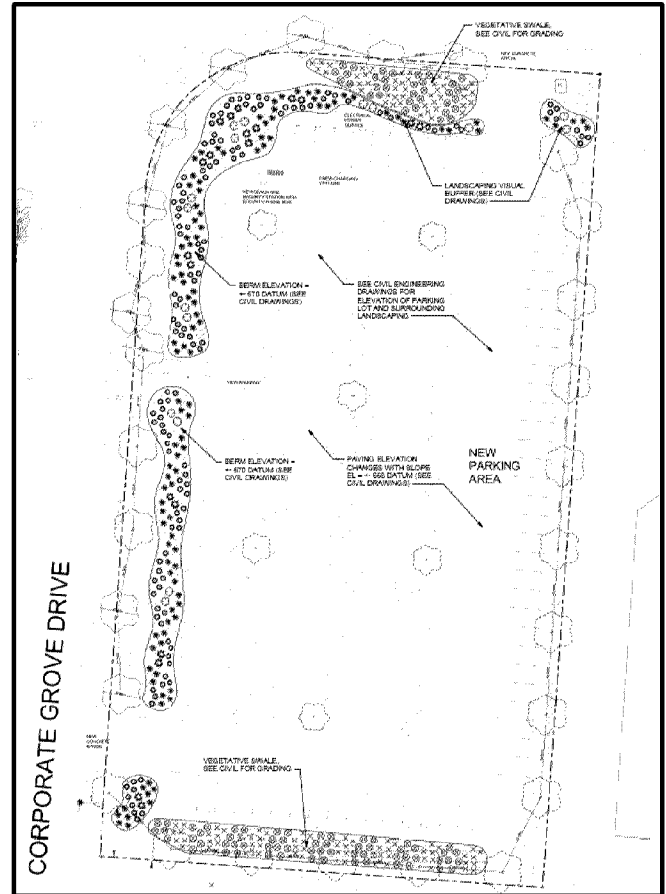


Figure 2: Landscape Plan

DEPARTMENTAL REVIEWS

Village Department	Comments
Engineering	The Village Engineer has reviewed the plans and does not have any concerns.
Fire Department	The Fire Department has reviewed the proposed plans and does not have any concerns.
Forestry	The Village Forester has reviewed the landscape plan and does not have any concerns.
Building	The Building Division has reviewed the plans for compliance with ADA Codes and does not have any concerns.

SURROUNDING PROPERTY OWNERS

Pursuant to Village Code, the contiguous property owners were notified via a certified letter and a public hearing sign was posted on the subject property. The posting of the public hearing sign and the mailing of the notifications were both completed within the required timeframe. As of the date of this Staff Report, staff has not received any comments or inquiries from nearby property owners.

STAFF RECOMMENDATION

Staff recommends **approval** of the Preliminary Plan, subject to the conditions listed in the PZC motion below.

ACTION REQUESTED

The Planning & Zoning Commission (PZC) shall open the public hearing and take public testimony concerning the request for approval of a Preliminary Plan to allow the construction of an off-street parking lot on the property at 901 Corporate Grove Dr. The PZC shall make a recommendation to the Village Board regarding the requested preliminary plan approval.

Suggested PZC Motion

The PZC recommends approval of the Preliminary Plan for an off-street parking facility at 901 Corporate Grove Drive, subject to the following conditions:

1. *The proposed development shall be developed in substantial conformance with the plans attached and in accordance with Section 16.20.070 of the Development Ordinance.*
2. *Any incidental or directional signage for the site will be reviewed and administratively approved by Village staff.*
3. *The landscaping and parking lot screening shall be maintained by the property owner or tenant in perpetuity.*
4. *Final Engineering plans shall be revised in a manner acceptable to the Village as required.*

ATTACHMENTS

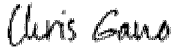
- Petitioner's Narrative Statement
- Proposed Site & Landscape Plan
- Engineering Plans
- Photometric Plan
- EV Charging Station Specification Sheets

To whom it may concern,

As the Buffalo Grove site of Flextronics International, USA (Flex) continues to grow, we have arrived at the point where we need to add to the capacity of parking for our team members and associates. We are purchasing the empty lot at 901 Corporate Grove Drive with the intent to develop this lot into a parking lot for the exclusive use of Flex team members. We have been working with Paul Florczak of Forma, Inc. on the design of the plans for this development.

Once we have the Village approval of our plans and the approval of the Corporate Grove Association, we will take the project out to bid with the intent to complete build-out of this lot during the summer of 2023.

All the best,

Signed by:

825f10ed-fae6-49c...

chris.gano@flex.com
224-234-4124

Attachment: Plan Set - 901 Corporate Grove Dr (901 Corporate Grove Drive - Preliminary Plan, FLEX)

ADA PARKING COUNT

**343 EXISTING PARKING SPACES + 154 NEW PARKING SPACES
PARKING SPACES**

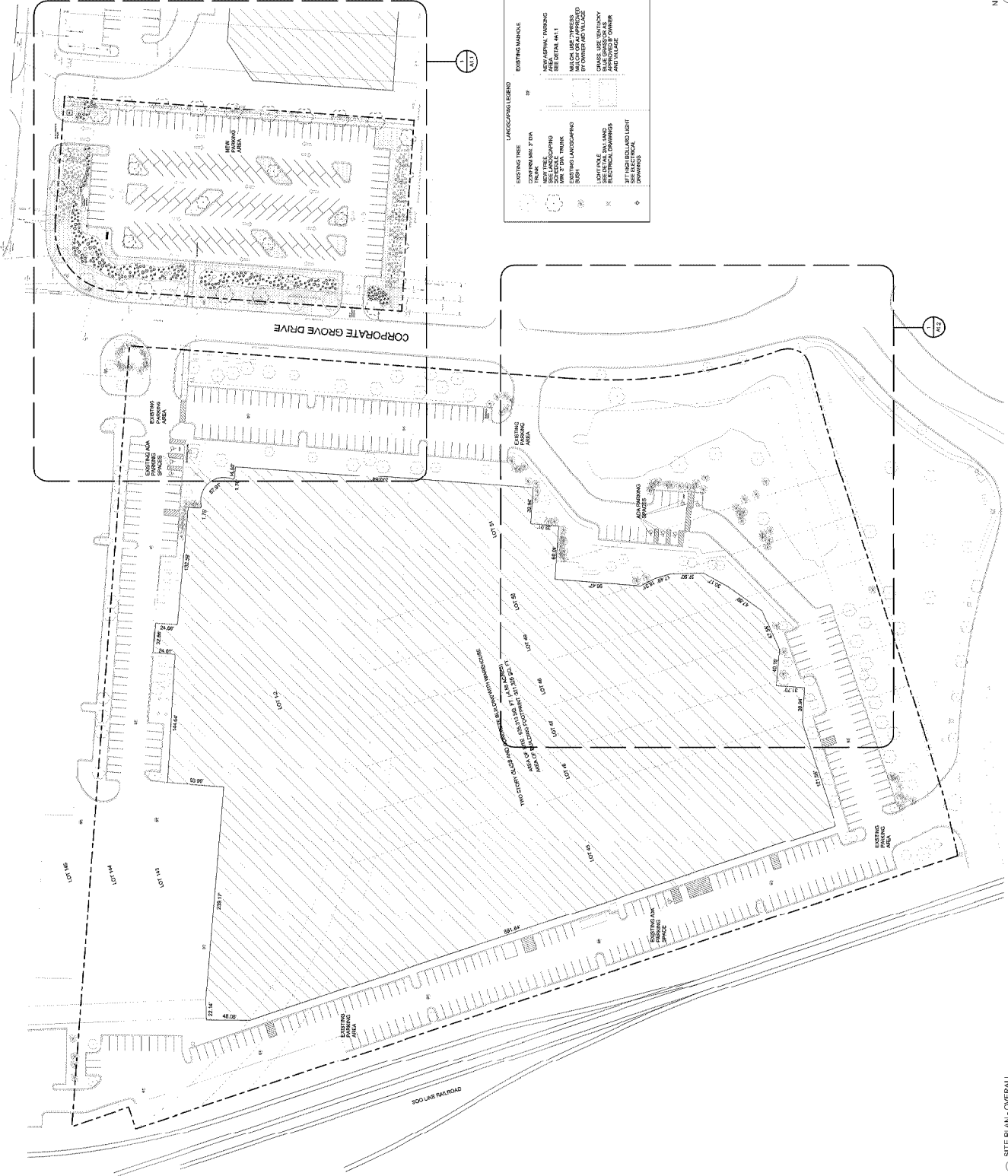
400-500 SPACES REQUIRE 9 ADA PARKING SPACES (2 OF WHICH MUST BE VAN ACCESSIBLE) PER 2018 IBC TABLE 1106.1

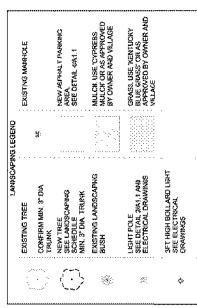
GREEN ISLAND CALCULATIONS

REQUIRED GREEN ISLAND AREA =

PROVIDED GREEN ISLAND AREA = 3,292SF

3,292SF PROVIDED > 2,598SF REQUIRED





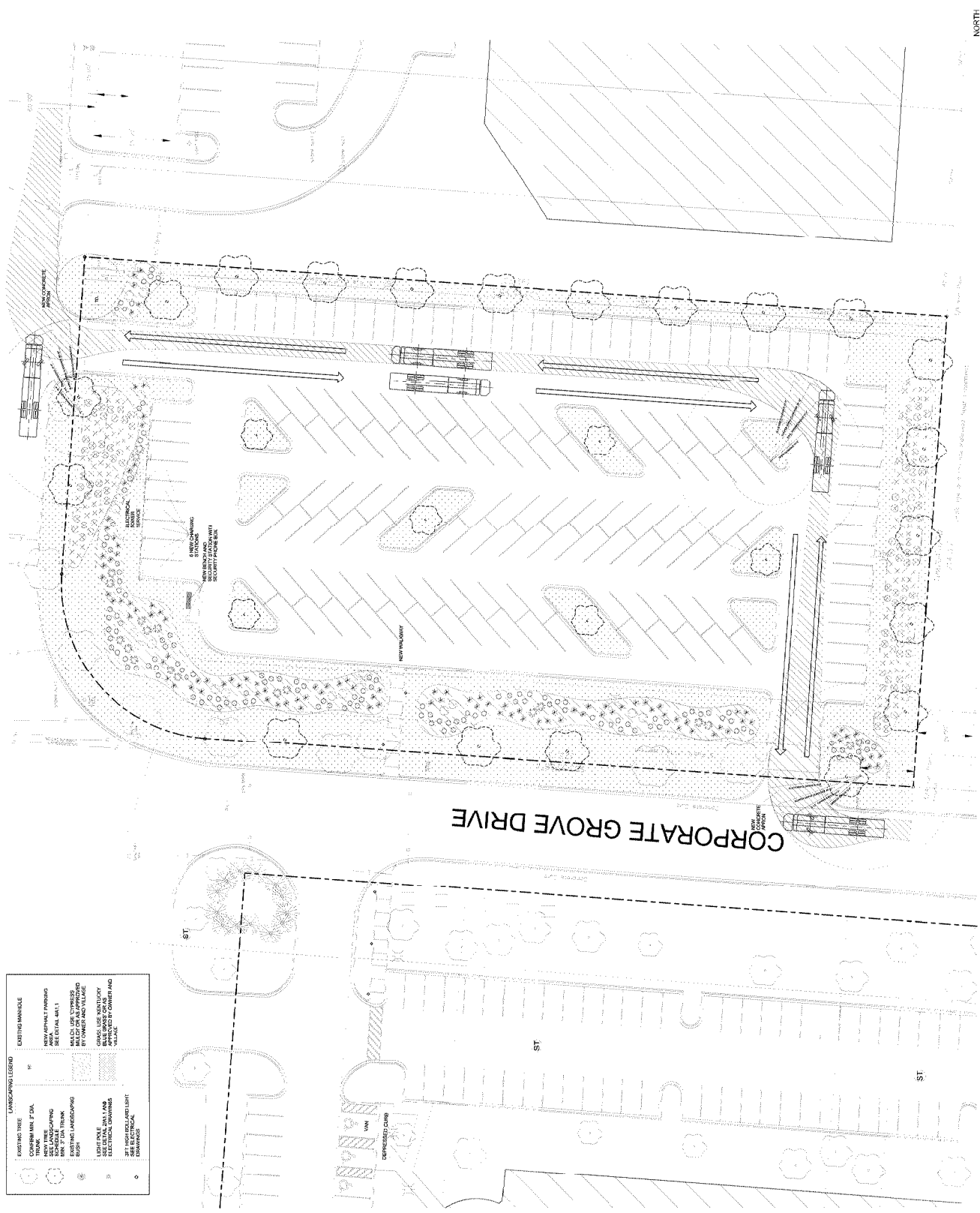
- 7 CONCRETE WHEEL STOP DETAIL

SEE CIVIL ENGINEER SET FOR MORE DETAILS

NORTH

1 SITE PLAN - NEW PARKING



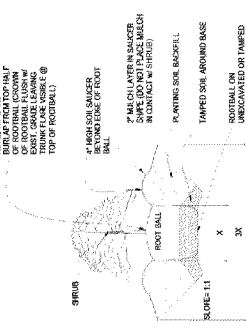


1. **TRUNK:** FREE OF BRANCHES TO A MINIMUM HEIGHT OF 10' FOR TREES SHALL BE UNDAUNTED BY PLANTING. 2. **BRANCHES:** BRANCHES SHALL BE UNDAUNTED BY PLANTING. 3. **ROOTS:** ROOTS SHALL BE UNDAUNTED BY PLANTING. 4. **LEAVES:** LEAVES SHALL BE UNDAUNTED BY PLANTING. 5. **FRUIT:** FRUIT SHALL BE UNDAUNTED BY PLANTING. 6. **SEEDS:** SEEDS SHALL BE UNDAUNTED BY PLANTING. 7. **WATER:** WATER SHALL BE UNDAUNTED BY PLANTING. 8. **SOIL:** SOIL SHALL BE UNDAUNTED BY PLANTING. 9. **CLIMATE:** CLIMATE SHALL BE UNDAUNTED BY PLANTING. 10. **ANIMALS:** ANIMALS SHALL BE UNDAUNTED BY PLANTING. 11. **PLANTS:** PLANTS SHALL BE UNDAUNTED BY PLANTING. 12. **STRUCTURES:** STRUCTURES SHALL BE UNDAUNTED BY PLANTING. 13. **UTILITIES:** UTILITIES SHALL BE UNDAUNTED BY PLANTING. 14. **ROADS:** ROADS SHALL BE UNDAUNTED BY PLANTING. 15. **RAILROADS:** RAILROADS SHALL BE UNDAUNTED BY PLANTING. 16. **WATERWAYS:** WATERWAYS SHALL BE UNDAUNTED BY PLANTING. 17. **ADJACENT PROPERTIES:** ADJACENT PROPERTIES SHALL BE UNDAUNTED BY PLANTING. 18. **NEIGHBORHOOD:** NEIGHBORHOOD SHALL BE UNDAUNTED BY PLANTING. 19. **CITY:** CITY SHALL BE UNDAUNTED BY PLANTING. 20. **COUNTY:** COUNTY SHALL BE UNDAUNTED BY PLANTING. 21. **STATE:** STATE SHALL BE UNDAUNTED BY PLANTING. 22. **FEDERAL:** FEDERAL SHALL BE UNDAUNTED BY PLANTING. 23. **OTHER:** OTHER SHALL BE UNDAUNTED BY PLANTING.

PLANTS SHALL BE HIGH QUALITY, MINOR-GROWN STOCK. PLANTS SHALL BE UNITS, VIGOROUS, COMING OUT OF THE DEAD OR BUCKER BRANCHES. SOME THAT ARE NOT COMPLETELY DEAD BUT HAVE SOME VIGOR, OR HAVE SOME VIGOR, BUT ARE NOT COMPLETELY DEAD. PLANTS SHALL BE UNITS, VIGOROUS, COMING OUT OF THE DEAD OR BUCKER BRANCHES. SOME THAT ARE NOT COMPLETELY DEAD BUT HAVE SOME VIGOR, OR HAVE SOME VIGOR, BUT ARE NOT COMPLETELY DEAD. PLANTS SHALL BE UNITS, VIGOROUS, COMING OUT OF THE DEAD OR BUCKER BRANCHES. SOME THAT ARE NOT COMPLETELY DEAD BUT HAVE SOME VIGOR, OR HAVE SOME VIGOR, BUT ARE NOT COMPLETELY DEAD.

[illegible]

REMOVE ALL TWINE, ROPE, VARRIE AND

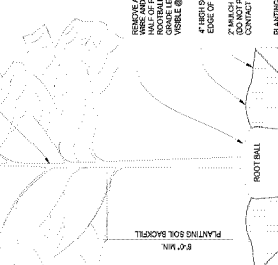


GRUB PIT THREE TIMES WIDER THAN DIAMETER OF ROOT BALL (EDGES OF PIT TO BE ROUGHENED)

SOIL COMPOSITION: 45%-77% SILT, 0-25% CLAY, 25%-33% SAND
SOIL ACIDITY: pH 6.0 TO 7.0
SOIL ORGANIC CONTENT: 3%-5%



**TREE PLANTING, 3" MIN.
CALIPER SHADE TREE W/
STRONG CENTRAL LEADER FOR
CANOPY TREE**






TREE PIT THREE TIMES WIDER THAN DIAMETER OF ROOT
 BALL (EDGES OF PIT TO BE ROUGHENED)

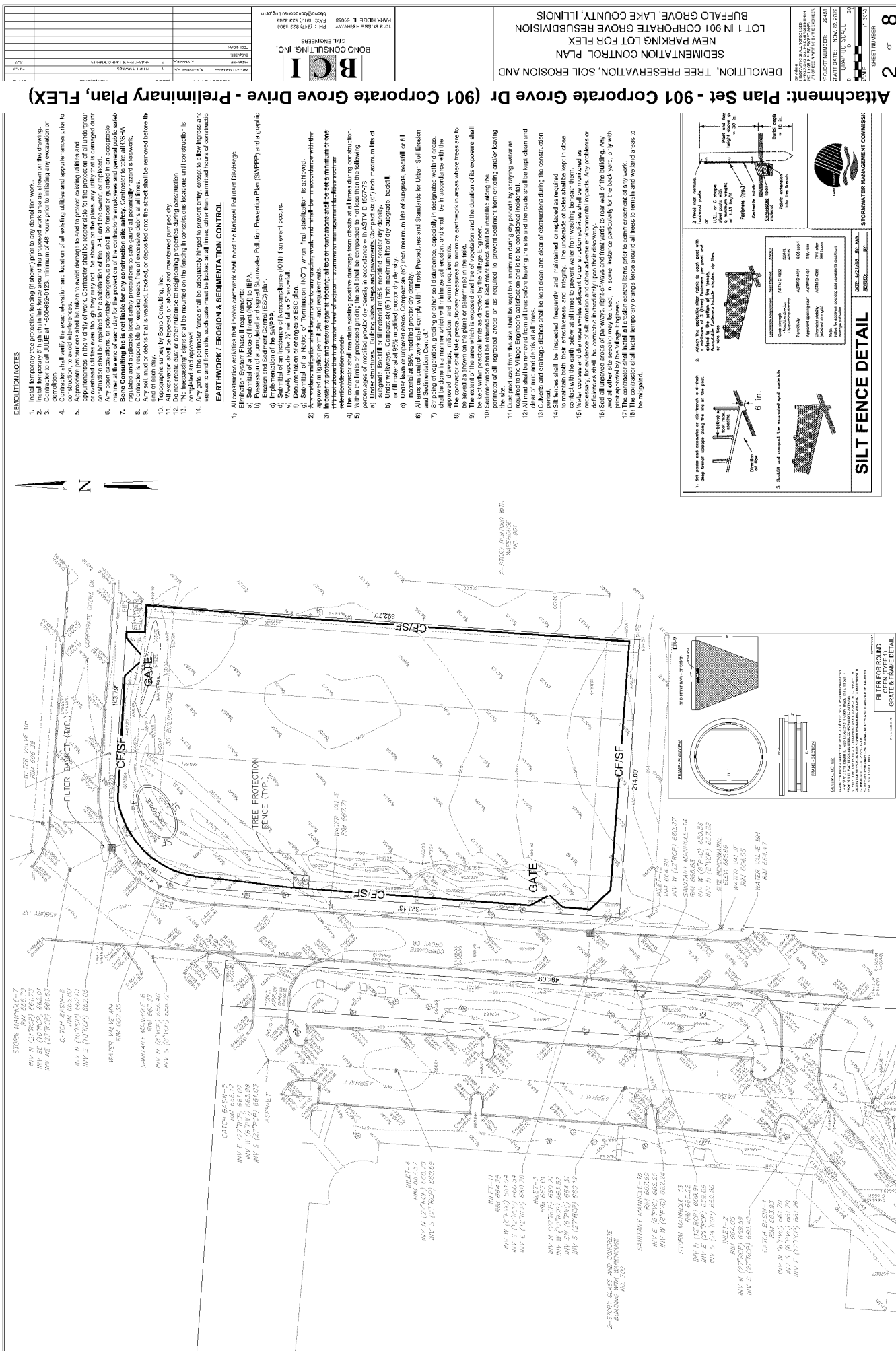
REL COMPOSITION: 45%-77% SILT, 0-2% CLAY, 25%-33% SAND
REL ACIDITY: pH 5.0 TO 7.0
REL ORGANIC CONTENT: 3%-5%

1000000

LANDSCAPING CONTRACTOR: ALL AREAS WITH EXISTING VEGETATION TO BE REFINISHED OR DAMAGED DURING CONSTRUCTION. THE EXISTING VOTED GRASS AREAS ARE TO BE RESEED AFTER CONSTRUCTION AND BROUGHT TO ORIGINAL CONDITION. ALL EXISTING VEGETATION TO BE PROTECTED DURING CONSTRUCTION. POST CONSTRUCTION EXISTING VEGETATION TO BE VERIFIED FOR ANY DAMAGE AND REPLACED WHERE NEEDED.

1 LANDSCAPING PLAN
1" = 20'-0"

$$r = 20\% - 0\%$$



SECTION A-A (OF PROPOSED WALK ACROSS STREET)

SCALE:
HORIZONTAL: 1"=10'
VERTICAL: 1"=1'

668	NEW DEPRESSED CURB & WALK	0+00	0+20	0+40	0+60
667	EXISTING DEPRESSED CURB				
666	EXISTING FACILITY				
	CROSS-SLOPE OF PROPOSED WALKWAY (SLOPE) IS -1.01%				

INV N (10"VC) 662.01
INV S (10"RC) 662.05
WATER VALVE MH
RIM 667.35
SANITARY MANHOLE-6
RIM 667.27
INV N (8"VC) 666.40
INV S (8"VC) 666.72

CATCH BASIN-5
RIM 668.12
INV E (27"RC) 661.07
INV W (6"VC) 663.98
INV S (27"RC) 661.03

ASPHALT

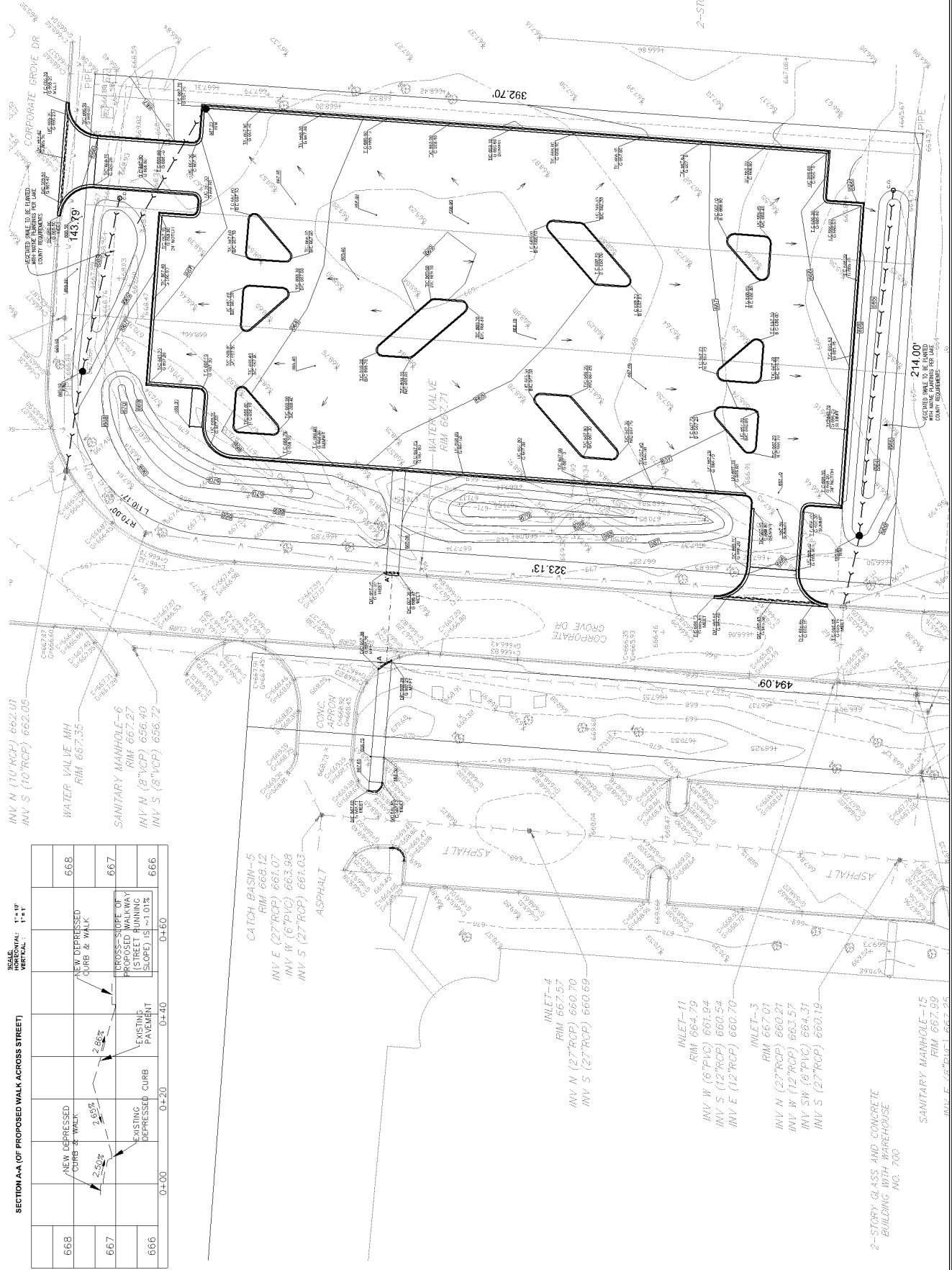
INLET-4
RIM 667.57
INV N (27"RC) 660.70
INV S (27"RC) 660.69

INLET-11
RIM 664.79
INV W (6"VC) 661.94
INV S (12"RC) 660.54
INV E (12"RC) 660.70

INLET-3
RIM 667.01
INV N (27"RC) 660.21
INV W (12"RC) 663.57
INV SW (6"VC) 664.31
INV S (27"RC) 660.19

2-STORY GLASS AND CONCRETE BUILDING WITH WAREHOUSE
NO. 700

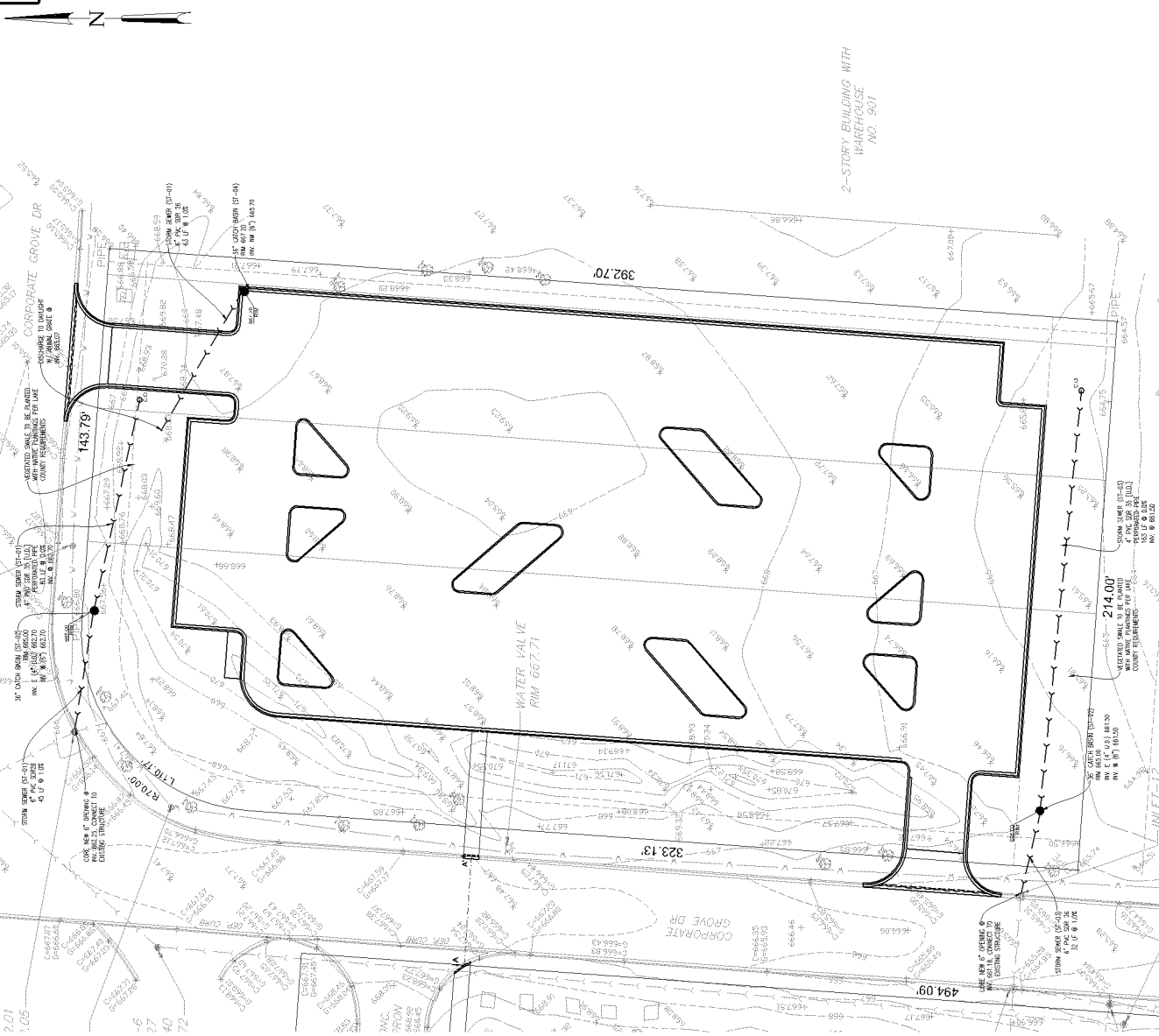
SANITARY MANHOLE-15
RIM 667.99
INV E (6"VC) 667.94



PROJECT NAME	NEW PARKING LOT FOR FLEX
PROJECT NUMBER	NO. 901
START DATE	NO. 901
SCALE	1"=10'
SHEET NUMBER	4 OF 4



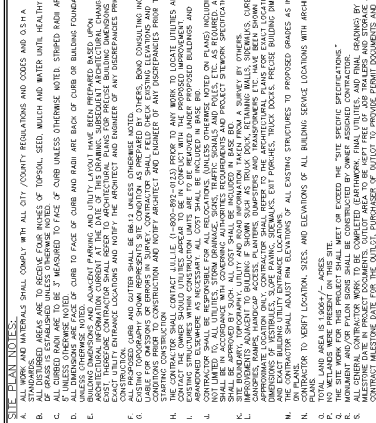
PROPOSED GRADING & DRAINAGE PLAN
OVERALL SITE
NEW PARKING LOT FOR FLEX

[illegible][illegible]

LAKE COUNTY PLANTING LIST FOR POND

Stormwater Detention Basins, Lower Shoreline Zone (Emergent)	
SCIENTIFIC NAME	COMMON NAME
<i>Acorus calamus</i>	SWEET FLAG
<i>Alisma subcordatum</i>	COMMON WATER PLANTAIN
<i>Cyperus alterniflorus</i>	COMMON BUTTERFLUSH
<i>Cyperus escholtzii</i>	FIELD NUT SEDGE
<i>Iris versicolor</i>	BULBOW OARS
<i>Juncus roemerianus</i>	COCKLEBUR
<i>Potamogeton amplifolius</i>	WATER SHAMPOO
<i>Sagittaria arifolia</i>	BROAD LEAF ARROWHEAD
<i>Sagittaria latifolia</i>	HARDESTEM BULLRUSH
<i>Sagittaria arifolia</i>	CHARMEAKER'S RUISH
<i>Sagittaria arifolia</i>	RIVER BULLRUSH
<i>Sagittaria arifolia</i>	SOFT-STEM BULLRUSH
<i>Sagittaria arifolia</i>	COMMON BURDEE

SITE PLAN & GEOMETRIC PLAN
NEW PARKING LOT FOR FLEX
LOT 1 IN 901 CORPORATE GROVE RESUBDIVISION
BUFFALO GROVE, LAKE COUNTY, ILLINOIS



SIGNAGE LEGEND	
①	STOP SIGN (R1-1)
②	ACCESSIBLE PARKING SIGN (R9-4)
③	NO PARKING SIGN FOR LANE (R9-11)
④	DO NOT ENTER (R5-1)
⑤	PEDESTRIAN CROSSING SIGN
⑥	NO-OUTLET SIGN
⑦	NO PARKING-TO CORNER SIGN
⑧	NO-LEFT TURN DURING 4:00 PM TO 8:00 PM SIGN
⑨	PEDESTRIAN CROSSING SIGN

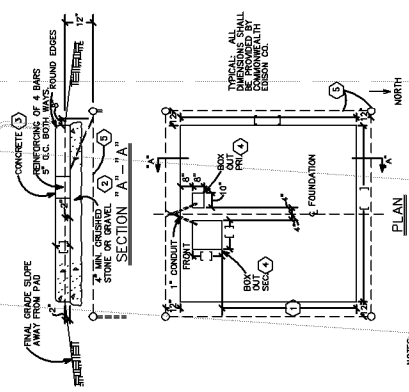
PAVEMENT MARKING LEGEND	
(A)	24" WHITE SOLID STOP BAR
(B)	4" YELLOW SOLID LINE
(C)	6" SOLID WHITE LINE
(D)	LETTERS & SYMBOLS PAVEMENT MARKINGS
(E)	TRAFFIC FLOW DIRECTIONAL ARROWS
(F)	ACCESSIBLE PARKING SPACE PAVEMENT MARKINGS-SEE DETAIL
(G)	4" YELLOW DIAGONAL AT 45° SPACED 3' O.C.
(H)	4" SOLID WHITE LINE

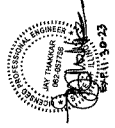
[illegible]



NOTES:

- DO NOT PLACE CONDUITS UNDER THIS SECTION OF FOUNDATION IF AVAILABLE.
- DO NOT DISTURB CONDUITS IN FOUNDATION AREA MORE THAN NECESSARY WHEN INSTALLING CONDUITS.
- SECONDARY CONDUITS ARE IN PLACE. BACKFILL WITH SCREENINGS, SAND OR FINE EXCAVATED MATERIAL, THOROUGHLY COMPACTED BEFORE PLACING CRUSHED STONE OR GRAVEL, AND POURING FOUNDATION.
- CONCRETE MAY BE USED TO FILL EXISTING SAND, GRAVEL OR CRUSHED STONE. COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS ON TEST. THE SAND AND GRAVEL SHALL BE WASHED TO PASS NO. 100 AND NO. 20 SIEVES, RESPECTIVELY, AND 6% BY WEIGHT. THE MIX TO HAVE 5 BAGS OF PORTLAND CEMENT PER YD³ OF VOLUME. BRAND PER YD. TO USE EITHER OF AVAILABLE TAG #1, #2 OR #3. BRAND #1 IS RECOMMENDED. ALLOW 14 DAYS OF CURE.
- CONCRETE SHALL TERMINATE FLUSH WITH TOP OF FOUNDATION. BRANDING SHALL BE DONE BY THE CONTRACTOR.
- BRANCH BY ELECTRICAL CONTRACTOR. BROND GRID & RODS BY COMMERCIAL IRON DISSON CO.





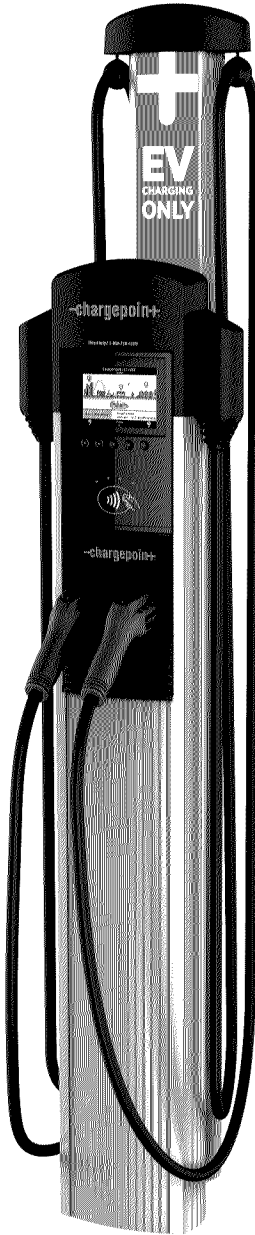
Statistics		Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc. Zone #1	+	1.2	fc	13.3	fc	0.0	N/A	N/A
Calc. Zone #3	+	0.7	fc	9.5	fc	0.0	N/A	N/A

Lateralis - Locations											
Location		Age									
	Location	X	Y	Z	W	Development	T13	X	Y	Z	
1	1	214.5	45.82	2.0	3.50	1.00	1.00	32.48	55.62	1.00	
2	2	214.5	45.82	3.00	3.50	1.00	1.00	32.48	55.62	1.00	
3	3	214.5	45.82	3.50	3.50	1.00	1.00	32.48	55.62	1.00	
4	4	180.32	43.24	2.0	3.50	1.00	1.00	35.33	52.54	1.00	
5	5	180.32	43.24	3.00	3.50	1.00	1.00	35.33	52.54	1.00	
6	6	180.32	43.24	3.50	3.50	1.00	1.00	35.33	52.54	1.00	
7	7	149.88	42.66	2.0	3.50	1.00	1.00	38.62	49.37	1.00	
8	8	149.88	42.66	3.00	3.50	1.00	1.00	38.62	49.37	1.00	
9	9	149.88	42.66	3.50	3.50	1.00	1.00	38.62	49.37	1.00	
10	10	115.32	45.82	2.0	3.50	1.00	1.00	40.27	56.83	1.00	
11	11	115.32	45.82	3.00	3.50	1.00	1.00	40.27	56.83	1.00	
12	12	115.32	45.82	3.50	3.50	1.00	1.00	40.27	56.83	1.00	

PHOTOMETRIC
SITE PLAN
SCALE: 1" = 20'-0"

CT4000 Level 2 Commercial Charging Station

Specifications and Ordering Information



CT4021

Ordering Information

The order codes below represent specific product configurations. Other product options are available. Please contact ChargePoint Sales for information and order codes.

Specify model number followed by the applicable code(s).

The order code sequence is: **Model-Options**. **Software**, **Services** and **Misc** are ordered as separate line items.

Hardware

Description		Order Code
Model	1830 mm (6 ft) Single Port Bollard Mount	CT4011-GW1
	1830 mm (6 ft) Dual Port Bollard Mount	CT4021-GW1
	1830 mm (6 ft) Single Port Wall Mount	CT4013-GW1
	1830 mm (6 ft) Dual Port Wall Mount	CT4023-GW1
	2440 mm (8 ft) Dual Port Bollard Mount	CT4025-GW1
	2440 mm (8 ft) Dual Port Wall Mount	CT4027-GW1
Included	Integral Modem – North America	-GW1
Misc	Power Management Kit Bollard Concrete Mounting Kit	CT4000-PMGMT
	Bollard Concrete Mounting Kit	CT4001-CCM

*Note: ALL CT4000 stations include Integral Modem -GW1.

Software & Services

Description	Order Code
ChargePoint Commercial Service Plan	CPCLD-COMMERCIAL- <i>n</i> *
ChargePoint Enterprise Plan	CPCLD-ENTERPRISE- <i>n</i> *
ChargePoint Assure	CT4000-ASSURE <i>n</i> *
Station Activation and Configuration	CPSUPPORT-ACTIVE
ChargePoint Station Installation and Validation	CT4000-INSTALLVALID

Note: All CT4000 stations require a network service plan per port.

*Substitute *n* for desired years (1, 2, 3, 4 or 5 years)

Architectural Drawings (Dimensions)

CT4021 1830 mm (6')

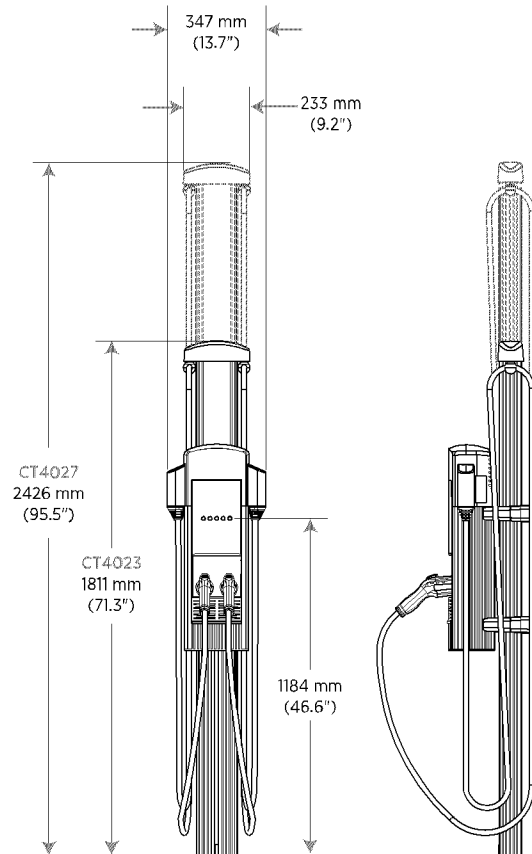
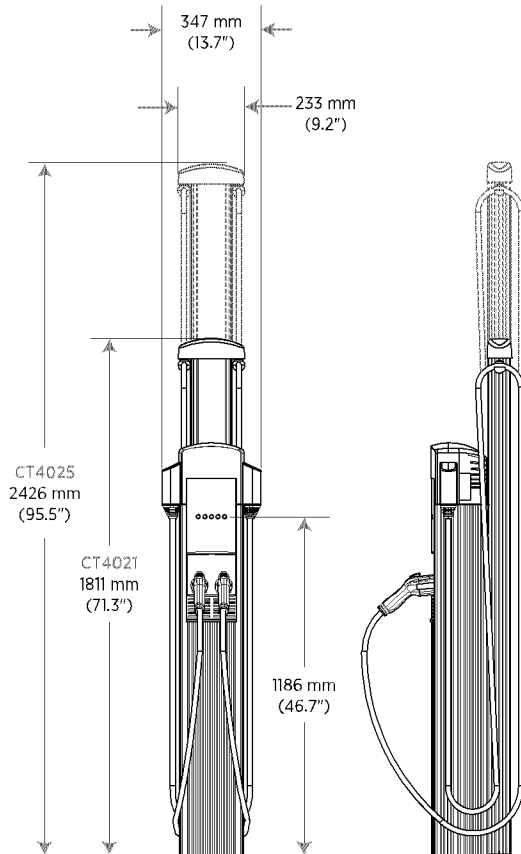
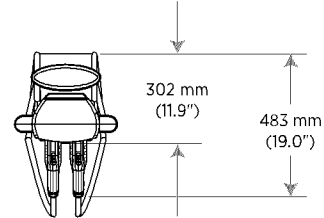
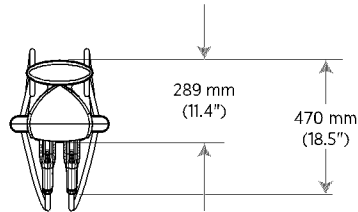
CT4025 2440 mm (8')

Bollard

CT4023 1830 mm (6')

CT4027 2440 mm (8')

Wall Mount



General Specifications

Electrical Input

Electrical Input	Single Port (AC Voltage 208 / 240V AC)			Dual Port (AC Voltage 208 / 240V AC)		
	Input Current	Input Power Connection	Required Service Panel Breaker	Input Current	Input Power Connection	Required Service Panel Breaker
Standard	30A	One 40A branch circuit	40A dual pole (non-GFCI type)	30A x 2	Two independent 40A branch circuits	40A dual pole (non-GFCI type) x 2
Standard Power Share	n/a	n/a	n/a	32A	One 40A branch circuit	40A dual pole (non-GFCI type)
Power Select 24A	24A	One 30A branch circuit	30A dual pole (non-GFCI type)	24A x 2	Two independent 30A branch circuits	30A dual pole (non-GFCI type) x 2
Power Select 24A Power Share	n/a	n/a	n/a	24A	One 30A branch circuit	30A dual pole (non-GFCI type)
Power Select 16A	16A	One 20A branch circuit	20A dual pole (non-GFCI type)	16A x 2	Two independent 20A branch circuits	20A dual pole (non-GFCI type)
Power Select 16A Power Share	n/a	n/a	n/a	16A	One 20A branch circuit	20A dual pole (non-GFCI type)
Service Panel GFCI	Do not provide external GFCI as it may conflict with internal GFCI (CCID)					
Wiring – Standard	3-wire (L1, L2, Earth)			5-wire (L1, L1, L2, L2, Earth)		
Wiring – Power Share	n/a			3-wire (L1, L2, Earth)		
Station Power	8 W typical (standby), 15 W maximum (operation)					

Electrical Output

Electrical Output	Single Port (AC Voltage 208 / 240V AC)	Dual Port (AC Voltage 208 / 240V AC)
Standard	7.2 kW (240V AC @ 30A)	7.2 kW (240V AC @ 30A) x 2
Standard Power Share	n/a	7.2 kW (240V AC @ 30A) x 1 or 3.8 kW (240V AC @ 16A) x 2



Action Item : A Public Hearing to Consider Requests for a Text Amendment, Special Use, Preliminary Plan, and Zoning Variations to Allow the Relocation of the Village of Buffalo Grove's Public Works Department to a Facility Located at 1650 Leider Lane, and to Allow Construction of New Accessory Structures on the Property for the Storage of Salt and Other Dry Materials

Recommendation of Action

Darren Monico, Village Engineer, is the petitioner on behalf of the Buffalo Grove Public Works Department for zoning approvals to allow relocation of the Public Works facility to 1650 Leider Lane. The property is a little over 9 acres in area, zoned for Industrial Use, and is currently improved with a 173,000 square foot building that was formerly used as a warehouse and distribution facility. Planned improvements include a complete interior renovation of the existing building and construction of a salt storage dome and dry material storage structures.

The Planning & Zoning Commission shall open the public hearing and take public testimony concerning the requests for approval of a Text Amendment, Special Uses for a Public Works Facility with outside storage of materials, a Preliminary Plan, and Zoning Variations to accommodate the relocation of the Buffalo Grove Public Works facility and construction of new accessory structures at 1650 Leider Lane. The PZC is requested to make a recommendation to the Village Board concerning the requests.

ATTACHMENTS:

- Staff Report (PDF)
- Plan Set (PDF)

Trustee Liaison
Johnson

Staff Contact
Kelly Purvis, Community Development

Wednesday, February 1,
2023



**VILLAGE OF BUFFALO GROVE
PLANNING & ZONING COMMISSION
STAFF REPORT**

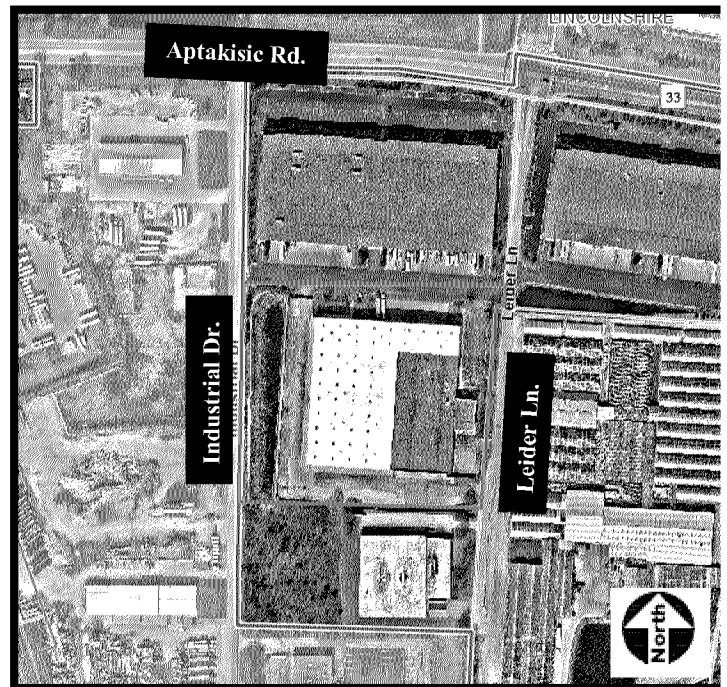
MEETING DATE:	February 1, 2023
SUBJECT PROPERTY LOCATION:	1650 Leider Lane
PETITIONER:	Darren Monico, Village Engineer
PREPARED BY:	Kelly Purvis, Deputy Community Development Director
REQUEST:	The petitioner is seeking approval of a Text Amendment and a Special Uses to allow a Public Works Facility on the subject property with outside storage of materials, Preliminary Plan approval, and Variations from the Zoning Code related to the placement of accessory structures on the property and outside storage of materials.
EXSITING LAND USE AND ZONING:	The property is improved with a vacant 173,000 square foot building and is zoned I, Industrial District.
COMPREHENSIVE PLAN:	The Village of Buffalo Grove Comprehensive Plan calls for this property to be an industrial use.

BACKGROUND

Darren Monico, Village Engineer, is the petitioner on behalf of the Buffalo Grove Public Works Department for zoning approvals to allow relocation of the Public Works facility to 1650 Leider Lane. The property is a little over 9 acres in area, zoned for Industrial Use, and is currently improved with a 173,000 square foot building that was formerly used as a warehouse and distribution facility. Planned improvements include a complete interior renovation of the existing building and construction of a salt storage dome and dry material storage structures.

At the January 3, 2023 Village Board meeting, staff presented an overview of the concept plan. The Trustees were supportive of the development and referred it to the PZC for further review.

In order for the project to move forward as proposed, the following approvals are needed: a Text Amendment to allow a Public Works Facility in the Industrial District, a Special Use for a Public Works Facility and outdoor storage in the Industrial



District, Zoning Variations related to the placement of the accessory structures and open outside storage of materials.

ZONING HISTORY

The Village approved an Annexation and Development Agreement for the Aptakisic Creek Corporate Park (of which the subject property is a part) on July 16, 2007, to allow the construction of two new buildings and the renovation and reuse of an existing 173,000 square foot building (formerly 15823 W. Aptakisic Road, now known as 1650 Leider Lane) on the site. The Aptakisic Creek Corporate Park was annexed into the Village and zoned for industrial use on September 24, 2007, by adoption of Ordinances No. 2007-57 and 2007-58 respectively.

In October of the same year, the Village adopted Ordinance No. 2007-67 to grant PrimeSource Building Products, Inc., (the previous occupant of the 1650 Leider Lane property) a Special Use for outside storage (approximately 52,685 square feet for building material storage), a Variation from the Fence Code to allow a 10-foot fence to screen the outside storage and a Variation to allow 59 off-street parking spaces in lieu of 64 needed for the office use. The Special Use for outside storage and the Variations were granted to PrimeSource Building Products, Inc., and do not run with the land. PrimeSource was later granted Variations from the Sign Code in 2008 (Ordinance No. 2008-05), and 2009 (Ordinance No. 2009-055).

In 2022, the Village approved various ordinances related to the acquisition of the property and hiring consulting services to design the new Public Works facility. On August 15, 2022, by adoption of Ordinance No. 2022-082, the Village Board authorized the purchase of the property. Following the purchase of 1650 Leider Lane, the Declaration of Easement and Protective Covenants for the Aptakisic Creek Corporate Park was amended to allow a governmental body within the Association in accordance with Ordinance No. 2022-129.

PLANNING & ZONING ANALYSIS

The Buffalo Grove Public Works Department is seeking zoning approvals to allow the department to relocate to the 1650 Leider Lane property. As previously noted, the project will include the complete renovation of the existing building and construction of accessory structures for storage of salt and other dry materials.

Public Works Department Operations

The Public Works Department has 50 full time employees plus 8-10 seasonal employees. The typical hours of operation are 7:00 am to 3:30 pm Monday – Friday but may be extended seasonally (snow removal) or for emergencies such as water main breaks. The Department is responsible for the design and maintenance of the streets, sidewalks, water and sewer systems, parkway trees, natural areas, and streetlights throughout the Village. In addition, Public Works maintains all Village-owned buildings and services the Police, Fire and Public Works vehicles and equipment.

Text Amendment for Public Works Facility

The 2009 Comprehensive Plan indicates that the subject property and all surrounding properties should be Industrial Uses. Staff believes that the Public Works facility is compatible with the surrounding uses, which are all industrial uses with significant truck traffic and outside storage.

Currently, the Industrial District does not allow for municipal buildings other than Police and Fire Stations. Staff is recommending a Text Amendment to the Zoning Code which would add “Public Works Facility” as a Special Use in the Industrial District. This addition is logical, and fitting given the similar nature and operations of a Public Works Facility and other uses allowed in the Industrial District. As staff prepares for a full Zoning Code rewrite in the near future, we will more fully analyze municipal uses, how they are defined, and where they are allowed to be located.

Proposed Plan

The 1650 Leider Lane building is approximately 173,000 square feet in area and was previously used as a warehouse and distribution facility with accessory uses for an office and outside material storage.

By repurposing the building, the Village will be able to significantly reduce the cost to move the operations of the Public Works Department as compared to constructing a new building. Approximately 130,000 square feet of the building will be designed for the use of the Public Works Department, while the remaining 43,000 square feet will be leased to a future tenant. To meet the needs of the Public Works Department, the building will require a full interior renovation, however the building footprint will remain unchanged. The current building is compliant with all required setbacks and the 50-foot height limitation for the Industrial District.



Existing Building on 1650 Leider Lane Property

Accessory Structures:

Most of the work associated with the project will take place inside the existing building. However, Public Works is proposing to construct a salt storage dome and dry materials storage structures on the south part of the site. The salt storage dome will be located in the rear yard of the property approximately 2 feet from the interior lot line. It is permitted to be constructed no closer than 3 feet from the south property line, therefore, a variation will be needed. The salt storage dome will be approximately 43 feet tall, which is compliant with the 50-foot height limitation in the industrial district.

The proposed materials storage structures will be very similar to the storage structures at the current Public Works facility which are approximately 20 feet in height and open on one side. The new storage structures will be 4,000 sf initially, with the option to build out an additional 40 ft by 40 ft storage structure in the future if needed. The



Storage Material Structures at Current Public Works Facility

storage area at the current Public Works facility is 2,400 sf. The additional storage space proposed at the new facility will give Public Works greater control over materials' supply chains. A special use is required to allow outside storage of materials on the site. In addition, a variation is necessary as the structures will not be fully enclosed and the proposed 8-foot fence that will secure the site will be shorter than the opening of the storage structures. The material storage enclosures will be located within the interior side yard, approximately 2 feet from the south property line. Accessory structures located in the side yard in the industrial district must be setback from interior lot lines a minimum of 15-feet and must be no closer to the front lot line than the mid-point of the principal building. The material storage structures will need variations from both requirements when fully built out as shown on the preliminary engineering plans.

Given the location of the salt dome and materials storage structures on the site (on the side and towards the rear of the principal building) and in the Village (in the Industrial District surrounded by only industrial uses), staff finds these variation and special use requests reasonable.

Site Access & Traffic:

There are 5 access drives to the various parking and loading areas on the property. The site can be accessed from Industrial Drive, but the main entrances to the site are on Leider Lane. There are no changes proposed to the site access, as it will adequately serve the needs of the Public Works Department.

For daily operations, the Public Works vehicles will use Leider Lane to access Aptakisic Road. As the building was previously used as a warehouse and distribution facility, it is anticipated that the traffic patterns will remain the same. It is expected that the new Public Works facility will generate less traffic than the previous use.

Parking:

There will be ample parking provided at the 1650 Leider Lane with 240 spaces proposed (inside and outside the building). This is sufficient parking for both the Public Works facility as well as an additional tenant as the current Public Works facility has 70 parking stalls. The Department's 58 work vehicles will be stored inside the building while employee and visitor parking will be provided outside in the existing parking lots. The Code requires 65 parking stalls be provided (39 for the industrial use and 26 for the office use).

Lighting:

There will be some updates to the exterior lighting on the south and west side of the site. Light fixture cut sheets and a photometric plan which are compliant with the Village's requirements have been included in the plan set. The lighting levels will not exceed .5 fc at any of the property lines. Both pole mounted and wall mounted fixtures are proposed.

Landscaping:

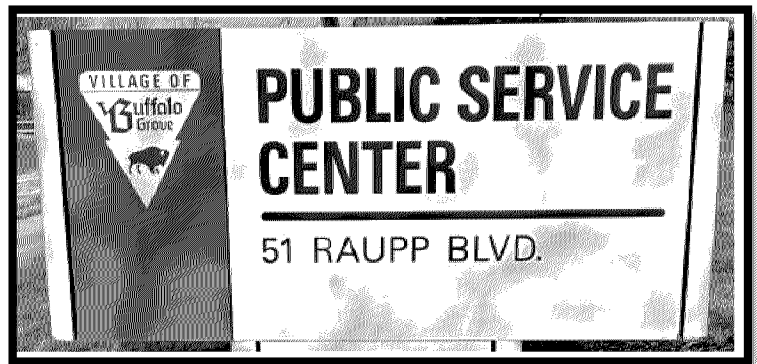
There are minimal changes proposed to the existing landscaping on the property. However, the Village's Forestry Division will maintain and work to improve the existing landscaping with native plantings as shown on the attached Landscape Plan.

Signage:

One freestanding, double faced sign is proposed, just north of the main entrance to the building. The sign will be setback the required 10 feet from all property lines and is compliant with the code limitations for height and sign area. The new sign will look similar to the existing Public Works sign.

Stormwater & Engineering:

The drainage pattern on the site will not be altered. There will be some reduction of impervious surfaces on the site, which will reduce stormwater runoff.



Current Public Works Facility Signage

DEPARTMENTAL REVIEWS

Village Department	Comments
Engineering	The Village Engineer has reviewed the preliminary engineering plans and does not have any concerns.
Forestry	The Village Forester has reviewed the landscape plan and does not have any concerns.
Fire	The Fire Department has reviewed the preliminary plans and does not have any concerns.
Building	The Building Division has reviewed the preliminary plans for ADA compliance and does not have any concerns.

SURROUNDING PROPERTY OWNERS

Pursuant to Village Code, the surrounding property owners within 250 feet were notified and a public hearing sign was posted on the subject property. The posting of the public hearing sign and the mailed notifications were completed within the prescribed timeframe as required. As of the date of this Staff Report, the Village has not received any calls or inquiries.

STANDARDS**Special Use Requests:**

The Planning & Zoning Commission is authorized to make a recommendation to the Village Board on requested Special Uses based on the following criteria:

1. The special use will serve the public convenience at the location of the subject property; or the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.
2. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with said special use, the size of the subject property in relation to such special use, and the location of the site with respect to streets giving access to it shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located.
3. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations with the neighborhood.
4. The nature, location and size of the buildings or structures involved with the establishment of the special use will not impede, substantially hinder or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie.
5. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided.
6. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance and minimize traffic congestion in the public streets.
7. The proposed use will conform to all other applicable regulations of the zoning district, except the variations that are being requested separately.

The petitioner's responses to each of the Special Use standards are attached for the Commission's review.

Zoning Variation Requests:

The Planning & Zoning Commission is authorized to make a recommendation to the Village Board on requested Zoning Variations based on the following criteria:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the zoning district in which it is located except in the case of residential zoning districts.
2. The plight of the owner is due to unique circumstances.
3. The proposed variation will not alter the essential character of the neighborhood.

The petitioner's responses to each of the Zoning Variation standards are attached for the Commission's review.

STAFF RECOMMENDATION

Staff recommends **approval** of the abovementioned Text Amendment, Special Uses, Preliminary Plan, and Zoning Variations subject to the conditions in the Suggested PZC Motion below.

ACTION REQUESTED

The Planning & Zoning Commission (PZC) shall open the public hearing and take public testimony concerning the requests for approval of a Text Amendment, Special Uses for a Public Works Facility with outside storage of materials, a Preliminary Plan, and Zoning Variations to accommodate the relocation of the Buffalo Grove Public Works facility and construction of new accessory structures at 1650 Leider Lane. The PZC is requested to make a recommendation to the Village Board concerning the requests.

Suggested PZC Motion

The PZC recommends approval of the following requests in order to allow the relocation of the Village of Buffalo Grove's Public Works Department to a new facility located at 1650 Leider Lane, and to allow construction of new accessory structures on the property for the storage of salt and other dry materials:

1. *A Zoning Code Text Amendment to Section 17.48.020 – Industrial District, to add "Public Works Facility" to the list of Special Uses for the district;*
2. *A Special Use to allow a Public Works facility in the Industrial District;*
3. *A Special Use for outside storage of materials;*
4. *The following Zoning Variations:*
 - a. *A Variation from Section 17.32.020 to allow a salt storage dome to be constructed in the rear yard, closer than 3 feet from the interior property line;*
 - b. *A Variation from Section 17.32.020 to allow material storage structures to be constructed within the required side yard setback and closer to the street than the midpoint of the principal building;*

- c. *A Variation from Section 17.48.020(C)9 to allow outside storage of materials that will not be fully enclosed; and*

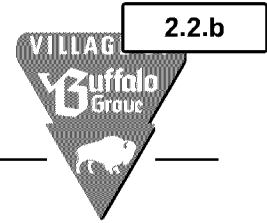
Subject to the following conditions:

- A. *The proposed development shall be developed in substantial conformance with the plans attached as part of the petition.*
- B. *The Final Engineering plans shall be submitted in a manner acceptable to the Village.*
- C. *Any directional or incidental signage added to the sign package shall be reviewed administratively by staff.*
- D. *The Special Use is granted to the Village of Buffalo Grove Public Works Department to operate at 1650 Leider Lane, which shall not run with the land.*
- E. *The Special Use granted to the Buffalo Grove Public Works Department is assignable to subsequent petitioners seeking assignment of this special use as follows:*
- i. *Upon application of a petitioner seeking assignment of this Special Use, the Corporate Authorities, in their sole discretion, may refer said application of assignment to the appropriate commission(s) for a public hearing or may hold a public hearing at the Village Board.*
 - ii. *Such assignment shall be valid only upon the adoption of a proper, valid, and binding ordinance by the Corporate Authorities granting said assignment, which may be granted or denied for any reason.*

ATTACHMENTS

- Narrative Description
- Alta Surveys
- Preliminary Engineering Plans
- South Elevation – Accessory Structures
- Landscape Plan
- Photometric Plan
- Light Fixture Cut Sheets
- Signage Exhibit
- Text Amendment – Letter of Request
- Response to Special Use Standards
- Response to Zoning Variation Standards

VILLAGE OF BUFFALO GROVE



Engineering Division
Fifty-One Raupp Blvd.
Buffalo Grove, IL 60089-2198

Darren T. Monico, P.E.
Village Engineer
Phone 847-459-2523
dmonico@vbg.org

December 15, 2022

Nicole Woods
Director of Community Development
Village of Buffalo Grove

RE: 1650 Leider Lane Project Narrative

Dear Ms. Woods,

The Village of Buffalo Grove recently purchased 1650 Leider Lane, a vacant industrial building, to be used as the new location of the Public Works Department. By repurposing an existing building, the Village was able to significantly reduce the cost to move the operations when compared to the purchase and construction of a new building. However, to fully function effectively for the Public Works Department, the new property will require certain accommodations such as a text amendment, special uses, and variations from the Zoning Code.

Project Narrative

The 1650 Leider Lane property is a large industrial building that is approximately 173,000 square feet in size and was formerly used as a warehouse with a small office area. The Village is planning on using 130,000 square feet of the building for its Public Works operations while approximately 43,000 square feet will be marketed for lease to a separate entity in the future. To meet the needs of the Public Works Department, the building will need a full interior renovation, but will maintain the same building footprint. In addition, a salt dome accessory structure, and an area for the outside storage of materials are proposed. These structures are critical to Public Works operations.

As most of the proposed renovation work will be within the building, there are minimal changes proposed for the existing landscaping. However, the trash areas will remain enclosed as per Village code and the Forestry department will work on maintaining and improving the existing landscaping as per the attached plan. This will include looking for areas to install native plants to beautify and reduce maintenance responsibilities on the property.

The property is currently screened with 10-foot-tall wooden fence which will be replaced with a Code compliant 8-foot fence. There is an existing, publicly accessible entry from the main parking lot for use by the public and visitors to the facility which will be maintained for this new use.

*An Internationally Accredited
Public Works Agency
Since 2004*



Packet Pg. 35

Attachment: Plan Set (1650 Leider Ln - New Public Works Facility Zoning Requests)

Typical Operations

When the renovation is complete, this building will house the Public Works Department which consists of approximately 50 full time employees plus 8 to 10 seasonal employees. The hours of operation are 7 am to 3:30 pm plus emergency operations for infrastructure maintenance such as water main breaks or winter snow plowing. The building has adequate areas for parking which will be located both inside and outside the building. There will be 240 parking stalls located at the 1650 Leider Lane property, whereas the current Public Works facility has 70 parking stalls.

The parking for the department's work vehicles will be inside the building while the employee and visitor parking will be outside in the existing parking lots. In working with an architect and with the Village's space needs analysis, the inside building layout will hold the Village's work trucks and equipment without the need to provide new parking areas for trucks outside the building. Due to its previous use as an industrial building, the truck turning analysis for the lot and the existing entrances are sufficient for the village vehicles and any oversized vehicles such as fire trucks or semi-trucks and trailers.

For the daily departmental operations, the Public Works vehicles will use Leider Lane to access Aptakisic Road. As the building was previously used for an industrial use, the traffic patterns are expected to remain the same and will not negatively impact the existing road or the intersection of Aptakisic Road and Leider Lane. Due to the limited nature of public and private traffic heading to the Public Works Department, it is expected that this use will generate less traffic than the past industrial use. Access to the site will be made through the existing entrances and no new entrances are proposed. Leider Lane is a private road maintained by a property management association made up of the 4 properties located at 1625, 1650, 1700, and 1701 Leider Lane.

The properties around Leider Lane are all industrial or commercial uses and this proposed use will fit right in with the typical work in the area. As Public Work operations can sometimes happen at night, this new area is not near residential properties and any noise after normal business hours will not be unusual for this industrial area. More information is provided in the attached responses to the Special Use and Zoning Variation standards.

Sincerely,



Darren Monico, P.E.
Village Engineer
Village of Buffalo Grove

SCALE 1"=20'

UTILITY PLAN NOTES

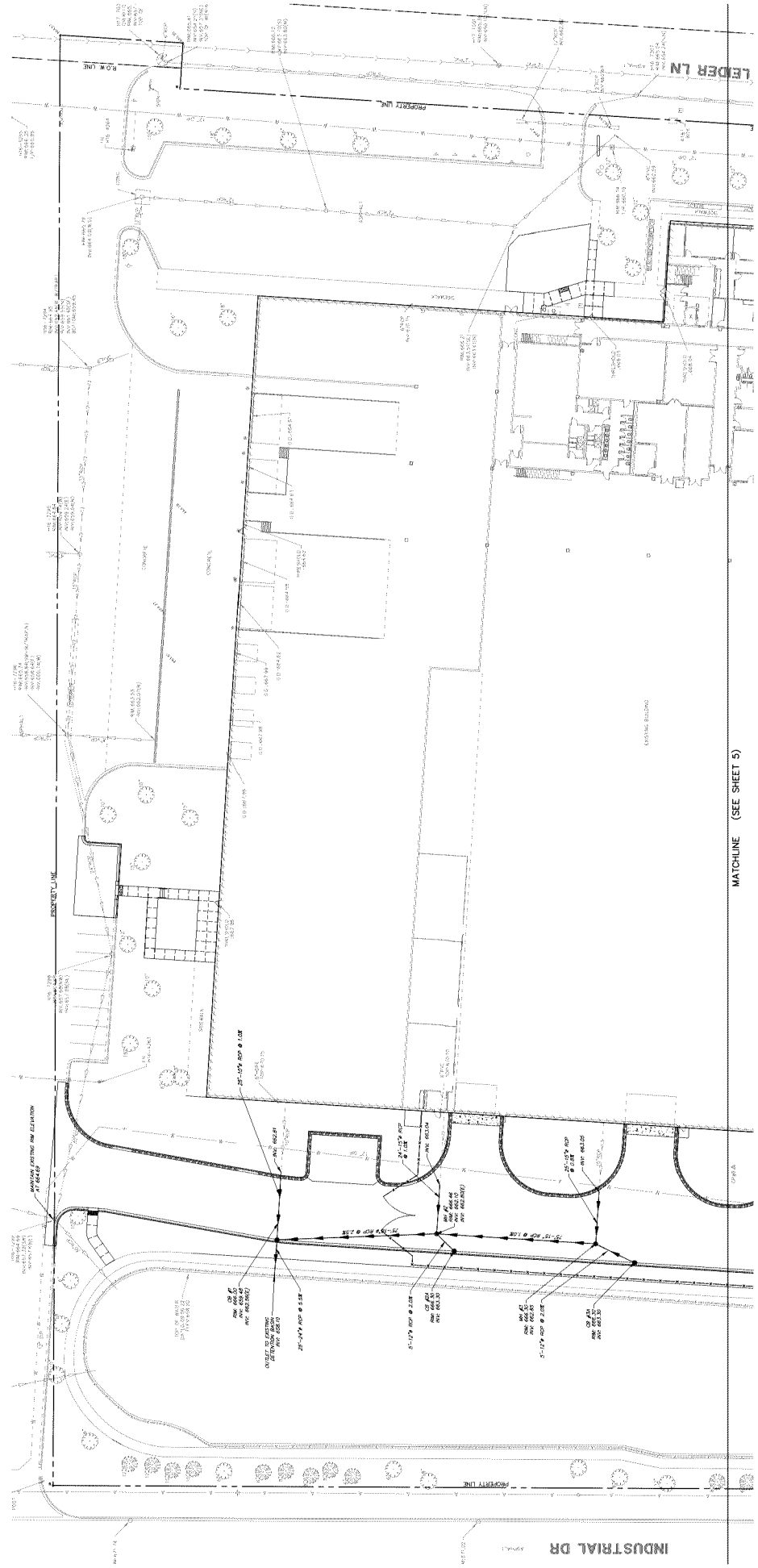
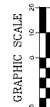
1. Verify the exact location and elevation of existing utilities prior to installing work. Any discrepancies found between the information noted on the plans and actual field conditions, or any other information, shall be noted on the plans and field notes. The contractor shall be responsible for verifying the location and depth of all utilities prior to construction.
2. Initial storm sewer as shown. Refer to Storm Sewer requirement (also on General Notes Sheet for pipe material, joint, frame and grate, stone bedding and testing requirements).
3. Initial sanitary sewer as shown. Refer to Sanitary Sewer requirement (also on General Notes Sheet for pipe material, joint, frame and grate, stone bedding and testing requirements).
4. Initial watermain as shown. Refer to Water Main requirement (also on General Notes Sheet for pipe material, joint, frame and grate, valves, fire hydrant, stone bedding and testing requirements).
5. Contractor shall provide the following as-constructed documents at the conclusion of the project:
 - a. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - b. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - c. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - d. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - e. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - f. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
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 - h. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - i. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - j. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - k. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - l. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - m. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - n. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - o. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - p. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - q. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - r. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - s. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - t. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - u. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - v. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - w. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - x. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - y. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.
 - z. As-constructed location of all conduits, valves, fire hydrants, stone bedding and testing requirements.

SUPPLEMENTAL CONDITIONS AND UTILITY NOTES

6. Refer to MEP and Architectural plans for electric and gas requirements and final routing.
7. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
8. All existing structures as noted shall have the bottom of the structure and any manhole cleared.
9. All connections to the combined sewer must be made in accordance with A.S.N. C-933.
10. All connections to existing structures shall be made in accordance with A.S.N. C-933.
11. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
12. Contractor shall ensure positive drainage to all inlets and catchbasins. Areas of surface ponding shall be corrected by the contractor at no additional expense to the Owner.
13. Structures shall be constructed in accordance with the following specifications:
 - a. Structures shall be constructed in accordance with the following specifications.
 - b. Structures shall be constructed in accordance with the following specifications.
 - c. Structures shall be constructed in accordance with the following specifications.
 - d. Structures shall be constructed in accordance with the following specifications.
 - e. Structures shall be constructed in accordance with the following specifications.
 - f. Structures shall be constructed in accordance with the following specifications.
 - g. Structures shall be constructed in accordance with the following specifications.
 - h. Structures shall be constructed in accordance with the following specifications.
 - i. Structures shall be constructed in accordance with the following specifications.
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 - s. Structures shall be constructed in accordance with the following specifications.
 - t. Structures shall be constructed in accordance with the following specifications.
 - u. Structures shall be constructed in accordance with the following specifications.
 - v. Structures shall be constructed in accordance with the following specifications.
 - w. Structures shall be constructed in accordance with the following specifications.
 - x. Structures shall be constructed in accordance with the following specifications.
 - y. Structures shall be constructed in accordance with the following specifications.
 - z. Structures shall be constructed in accordance with the following specifications.
14. Existing storm structures to remain within the replacement area have been noted with "Adjust Riser" or "Adjust Manhole" notes. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
15. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
16. Initial power and cable shall be shown. Refer to electrical plans for conduit and manhole details and routing.

UTILITY PLAN LEGEND

- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- STORM MANHOLE
- STORM CATCHBASIN
- STORM INLET
- FLARED END SECTION
- SANITARY MANHOLE
- VALVE VAULT
- VALVE BOX
- FIRE HYDRANT
- BUFFALO BOX
- STREET LIGHT
- POWER POLE
- SCM



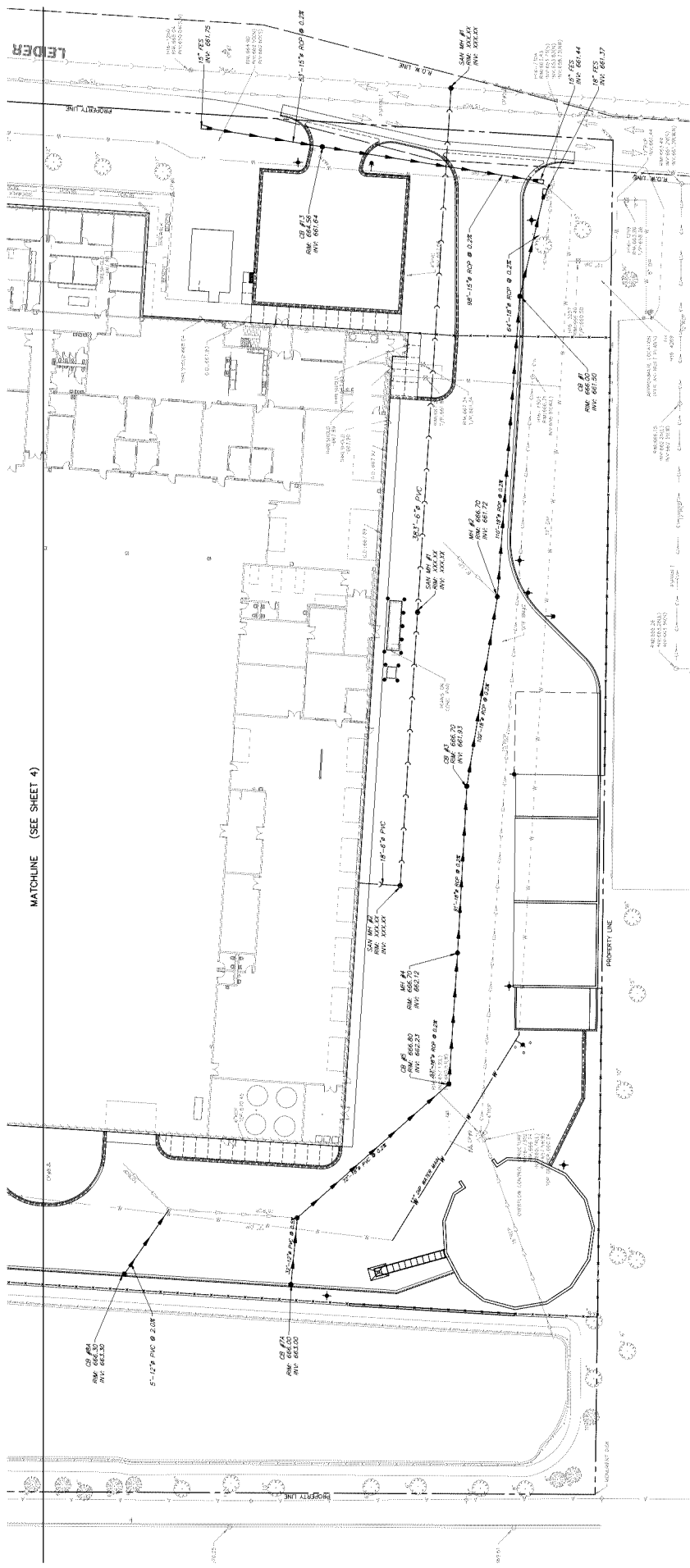
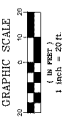
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Tel: 815.478.9700 • Fax: 815.478.9701

UTILITY PLAN
BUFFALO GROVE - PUBLIC WORKS FACILITY IMPROVEMENTS
1860 LIEBER LANE
BUFFALO GROVE, ILLINOIS 60089

PROJECT NO. 174223
 SHEET NO. 4
 DATE: 7/24/23
 SCALE: 1" = 20'

UTILITY PLAN LEGEND

- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- EXISTING ENCASED
- STORM MANHOLE
- STORM CATCHBASIN
- STORM INLET
- FLARED END SECTION
- SANITARY MANHOLE
- VALVE VAULT
- VALVE BOX
- FIRE HYDRANT
- BUFFALO BOX
- STREET LIGHT
- PURCH POLE
- SON

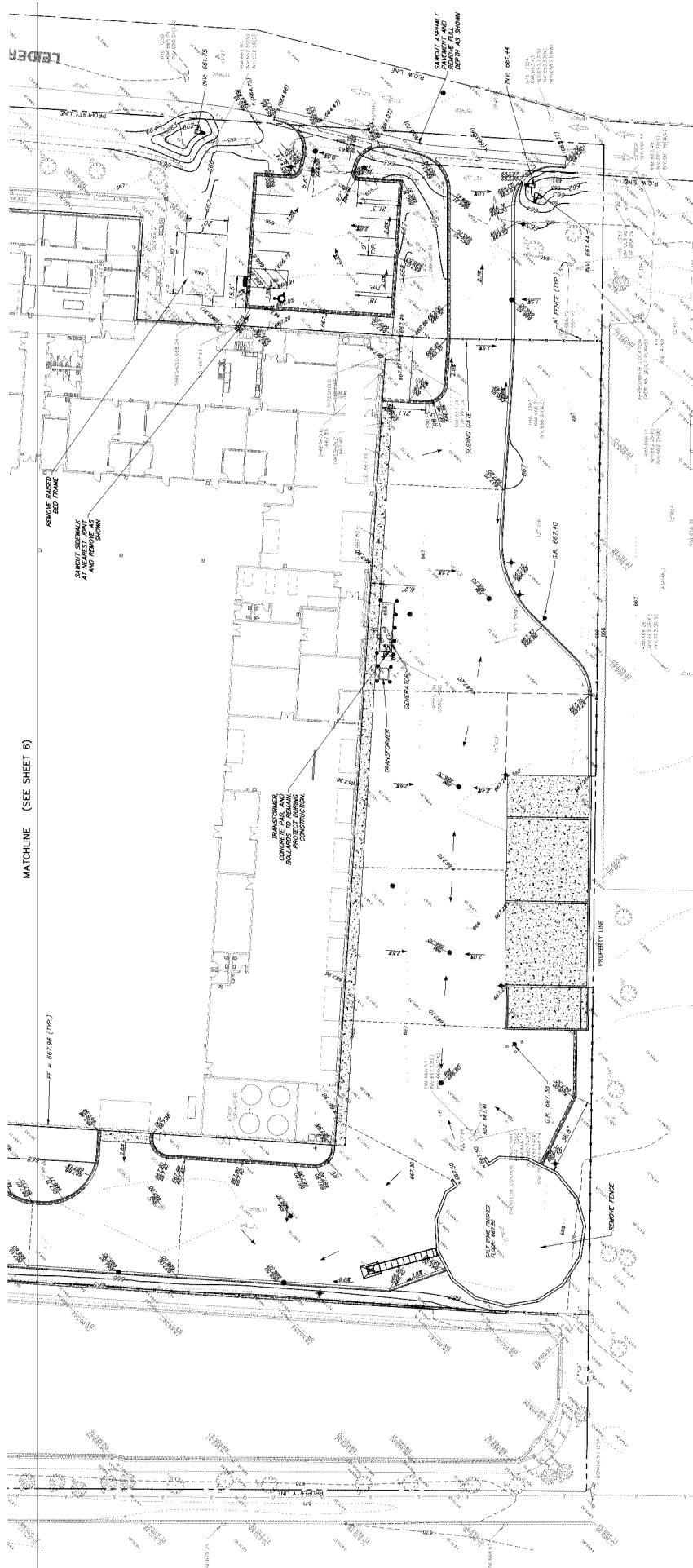


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625 Forest Edge Drive • Vernon Hills, IL 60061
TEL 847.478.9700 • FAX 847.478.9701

UTILITY PLAN
BUFFALO GROVE - PUBLIC WORKS FACILITY IMPROVEMENTS
1860 LIEBER LANE
BUFFALO GROVE, ILLINOIS 60089

DATE: 7/24/23
DRAWN BY: TM
CHECKED BY: JLM
SCALE: 1" = 20'

SHEET NUMBER: 5
PROJECT NO: 1860 LIEBER LANE



MATCHLINE (SEE SHEET 6)

$$F^* = 667.95 \text{ (7d.f.)}$$

**GHA GENWALT HAMILTON
ASSOCIATES, INC.**
225 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

GRADING PLAN
BUFFALO GROVE - PUBLIC WORKS FACILITY IMPROVEMENTS
1850 LIEDER LANE
BUFFALO GROVE, ILLINOIS 60089

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[illegible]



GRADING LEGEND

TOP OF CURB
FLOW LINE

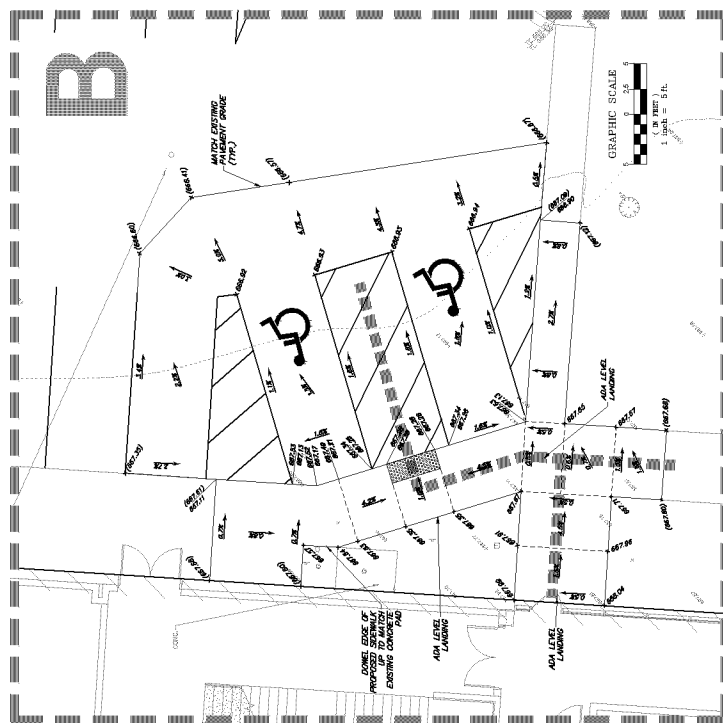
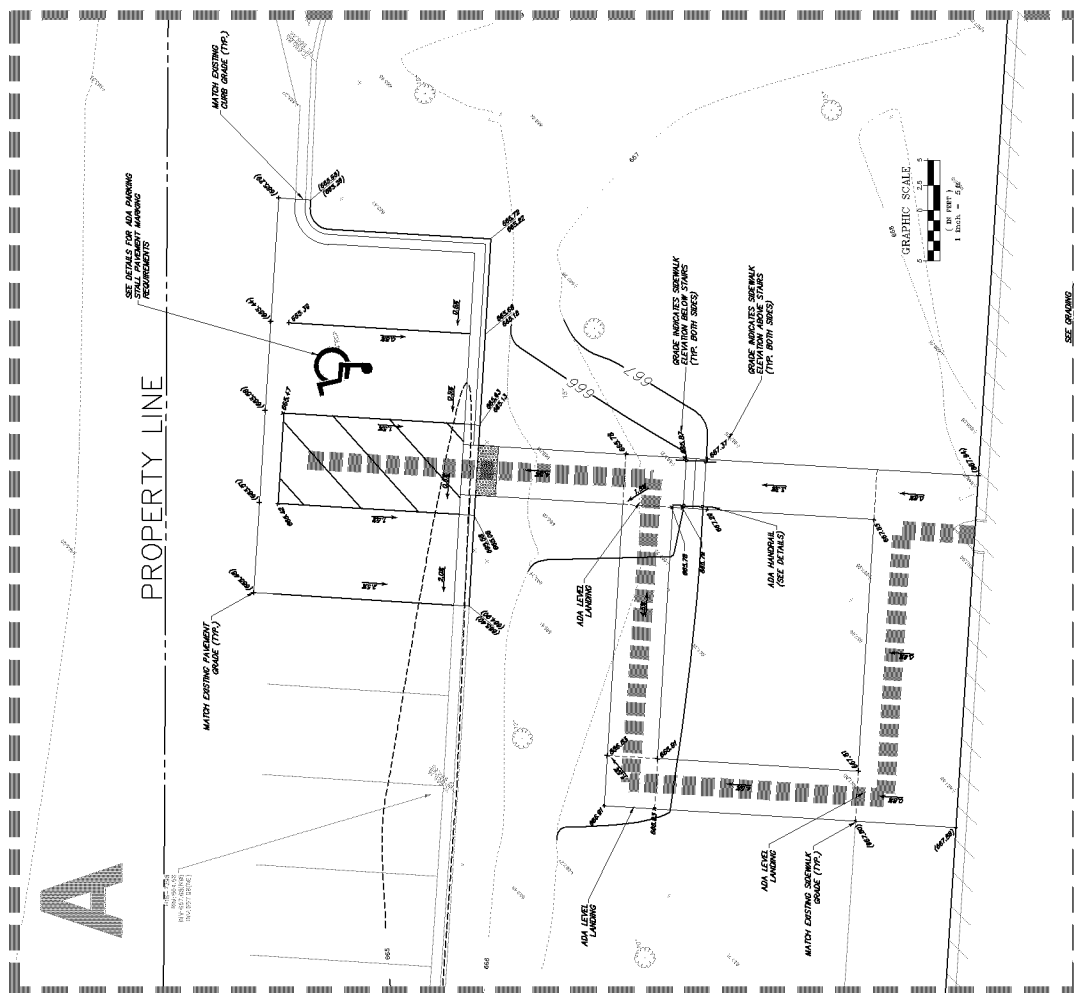
PROPOSED SPOT E

CONTOUR

ADJ: ###.## STRUCTURE ADJUS

SUMMIT SUMMITS

NON MONITORABILI



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325 Forest Ridge Drive • Vernon Hills, IL 60061
Tel. 847/461-9765 • Fax 847/478-0713

GRADING PLAN - CLOSEUPS
BUFFALO GROVE - PUBLIC WORKS FACILITY IMPROVEMENTS
 1650 LIEDER LANE
 BUFFALO GROVE, ILLINOIS 60089

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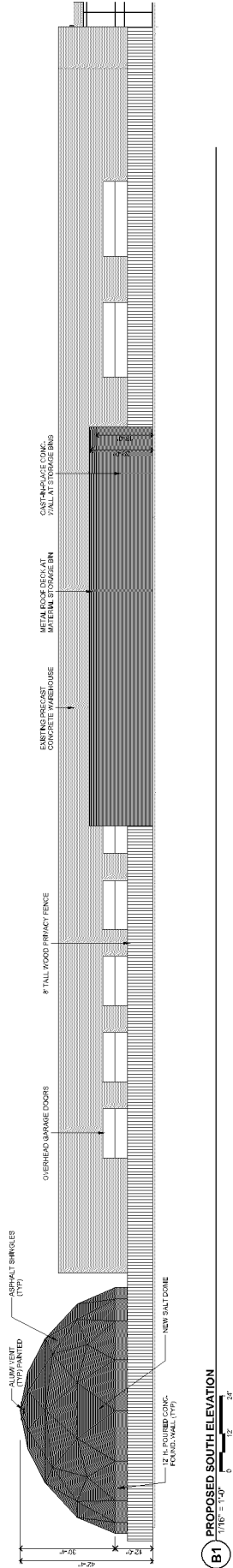
This drawing is the property of General Harvillan Assoc., Inc. and is not to be used for any purpose other than the specific project and site named herein, and cannot be reproduced in any manner without the express written permission from General Harvillan Associates, Inc.

TEL 341.200-7924	SET NUMBER		8	
CHOWN INT	TUM	CON PROJECT #		
DATE	7/24/23	5921.000		
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DATE	7/24/23	1 st = 295		
DATE	7/24/23	1 st = 295		



Village of Buffalo Grove

New Public Works Facility
January, 2023



Unnamed

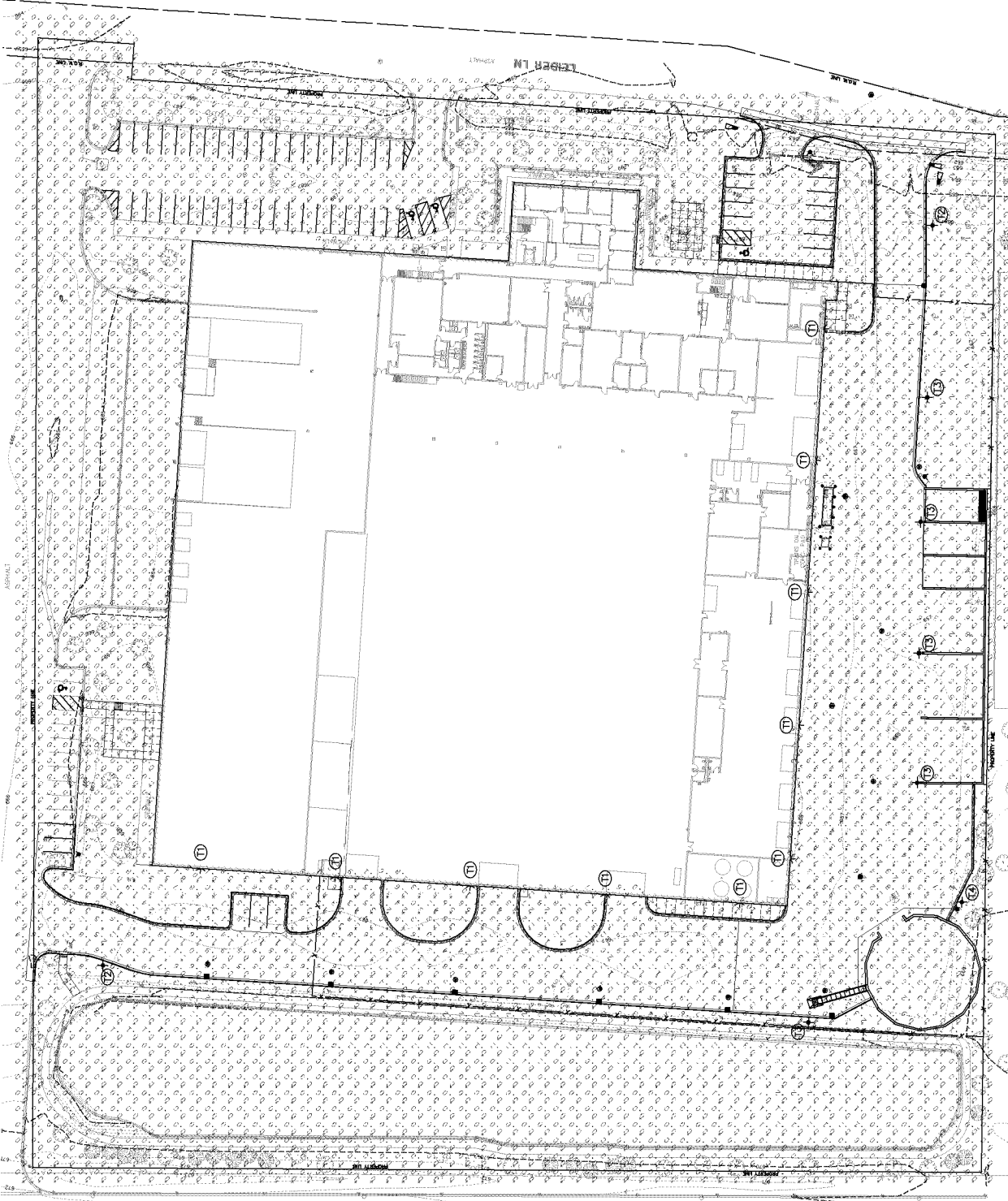
Comm No: 223079



225 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.418.9700 ■ FAX 847.478.9701

BUFFALO GROVE, ILLINOIS 60089

DATE	TIME	LOCATION	REMARKS	DATE	TIME	LOCATION	REMARKS
1/24/23	1:30	100	100	1/24/23	1:30	100	100



PROPOSED PHOTOMETRICS - AT PROPERTY LINE

	Avg Illuminance (fc)	Min	Max
EAST	0.02	0.0	0.2
SOUTH	0.02	0.0	0.5
WEST	0.00	0.0	0.0

PROPOSED PHOTOMETRICS - PROJECT SITE

	Ave	Min	Max	Ave/Min	Max/Min
WEST LOT	2.1	0.5	9.2	4.1	19.2
SOUTH LOT	4.8	0.4	22.2	11.9	30.5
EAST LOT	1.2	0.3	2.9	4.2	9.7
SOUTH LOT ENT	1.3	0.3	2.7	4.2	9.0

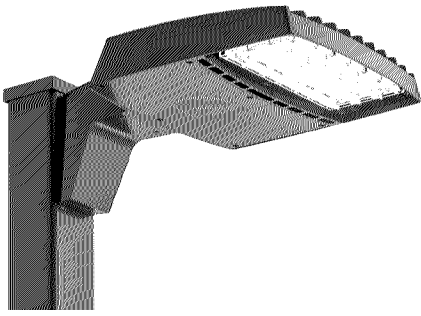
Proposed Lighting Schedule

Label	Manufacturer & Model Specifics
T1	Lithonia Lighting - WIDE4 LED Series P6-[185W/25863 Lumens], Type R4, 4000K Building Mounted Light (20-Ft. M.H.)
T2	Lithonia Lighting - RSX1 LED Series P1-[15W/7189 Lumens], Type R4, 4000K 22.5-Ft. M.H.
T3	Lithonia Lighting - RSX2 LED Series P4-[187W/25329 Lumens], Type R4, 4000K 27.5-Ft. M.H.
T4	Lithonia Lighting - RSX2 LED Series P3-[147W/22317 Lumens], Type R4, 4000K 27.5-Ft. M.H. with House Side Shield

PHOTOMETRIC PLAN
BUFFALO GROVE - PUBLIC WORKS FACILITY IMPROVEMENTS
1800 LIEDER LANE
BUFFALO GROVE, ILLINOIS 60089

DESIGNED BY: GENSLER
PROJECT NO.: 1800 Lieder Lane
DATE: 11/11/23
SCALE: NTS

GENSLER
625 Lakeside Drive • Vernon Hills, IL 60061
Tel: 847.428.5700 • Fax: 847.479.4701



RSX1 LED Area Luminaire

Catalog
Number

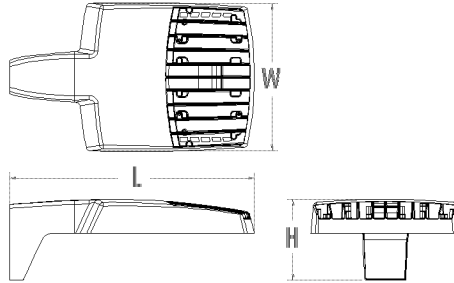
Notes

Type

RSX1 LED Area Luminaire is a high performance, energy efficient luminaire.

Specifications

EPA (ft ² @0°):	0.57 ft ² (0.05 m ²)
Length:	21.8" (55.4 cm) (SPA mount)
Width:	13.3" (33.8 cm)
Height:	3.0" (7.6 cm) Main Body 7.2" (18.4 cm) Arm
Weight: (SPA mount):	22.0 lbs (10.0 kg)



Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

Ordering Information

EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD

RSX1 LED

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1	30K 3000K	R2 Type 2 Wide	MVOLT (120V-277V) ²	SPA Square pole mounting (3.0" min. SQ pole for 1 at 90°, 3.5" min. SQ pole for 2, 3, 4 at 90°;
	P2	40K 4000K	R3 Type 3 Wide	HVOLT (347V-480V) ³	RPA Round pole mounting (3.2" min. dia. RND pole for 2, 3, 4 at 90°, 3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°)
	P3	50K 5000K	R3S Type 3 Short	XVOLT (277V-480V) ⁴	MA Mast arm adaptor (fits 2-3/8" OD horizontal tenon)
	P4		R4 Type 4 Wide	(use specific voltage for options as noted)	IS Adjustable slipfitter (fits 2-3/8" OD tenon) ⁶
			R4S Type 4 Short	120 ³ 277 ⁵	WBA Wall bracket ¹
			R5 Type 5 Wide ¹	208 ³ 347 ⁵	WBASC Wall bracket with surface conduit box
			R5S Type 5 Short ¹	240 ³ 480 ⁵	AASP Adjustable tilt arm square pole mounting ⁶
			AFR Automotive Front Row		AARP Adjustable tilt arm round pole mounting ⁶
			AFRR90 Automotive Front Row Right Rotated		AAWB Adjustable tilt arm with wall bracket ⁶
			AFRL90 Automotive Front Row Left Rotated		AAWSC Adjustable tilt arm wall bracket and surface conduit box ⁶

Options

Shipped Installed

HS	House-side shield ⁷
PE	Photocontrol, button style ^{8,5}
PER7	Seven-wire twist-lock receptacle only (no controls) ^{5,10,11}
SF	Single fuse (120, 277, 347) ⁵
DF	Double fuse (208, 240, 480) ⁵
SPD20KV	20KV Surge pack (10KV standard)
FAO	Field adjustable output ⁹
DMG	0-10V dimming extend out back of housing for external control (control ordered separate) ⁹

Shipped Installed

***Standalone and Networked Sensors/Controls (factory default settings, see table page 9)**

NLTAIR2 PIRHN	nLight AIR generation 2, with Networked, Bi-Level motion/ambient sensor ^{9,12,13,14}
BAA	Buy America(n) Act Compliant
CCE	Coastal Construction ¹⁵

***Note:** NLTAIR2 PIRHN with nLight Air can be used as a standalone or networked solution. Sensor coverage pattern is affected when luminaire is tilted.

Shipped Separately (requires some field assembly)

EGS	External glare shield ⁷
EGFV	External glare full visor (360° around light aperture) ⁷
BS	Bird spikes ¹⁶

Finish

DDBXD	Dark Bronze
DBLXD	Black
DNAXD	Natural Aluminum
DWHXD	White
DDBTXD	Textured Dark Bronze
DBLBXD	Textured Black
DNATXD	Textured Natural Aluminum
DWHGXD	Textured White



COMMERCIAL OUTDOOR

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Lithonia RSX1 Area LED
Rev. 01/11/23
Page 1 of 9

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Ordering Information

Accessories

Ordered and shipped separately.

RSX1HS	RSX1 House side shield (includes 1 shield)
RSX1HSAFR U	RSX1 House side shield for AFR rotated optics (includes 1 shield)
RSX1EGS (FINISH) U	External glare shield (specify finish)
RSX1EGV (FINISH) U	External glare full visor (specify finish)
RSXRPA (FINISH) U	RSX Universal round pole adaptor plate (specify finish)
RSXWBA (FINISH) U	RSX WBA wall bracket (specify finish) ¹
RSXSCB (FINISH) U	RSX Surface conduit box (specify finish, for use with WBA, WBA not included)
DLL127F 1.5 JU	Photocell -SSL twist-lock (120-277V) ¹⁷
DLL347F 1.5 CUL JU	Photocell -SSL twist-lock (347V) ¹⁷
DLL480F 1.5 CUL JU	Photocell -SSL twist-lock (480V) ¹⁷
DSHORT SBK U	Shorting cap ¹⁸

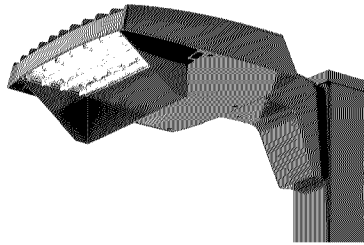
NOTES

- Any Type 5 distribution, is not available with WBA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- XVOLT driver not available with P1 or P2. XVOLT driver operates on any line voltage from 277V-480V (50/60 Hz). XVOLT not available with fusing (SF or DF) and not available with PE.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Maximum tilt is 90° above horizontal.
- It may be ordered as an accessory.
- Requires MVOLT or 347V.
- Two or more of the following options cannot be combined including PE, DMG, PER7, FAO and NLTAIR2 PIRHN. (Exception: PE and FAO can be combined; also PE and DMG can be combined.)
- Compatible with standard twist-lock photocells for dusk to dawn operation or advanced control nodes that provide 0-10V dimming signals. Wire 4/Wire 5 wired to dimming leads on driver. Wire 6/Wire 7 capped inside luminaire. Twistlock photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- For units with option PER7, the mounting must be restricted to +/- 45° from horizontal aim per ANSI C136.10-2010.
- Must be ordered with PIRHN.
- Requires MVOLT or HVOLT.
- Must be ordered with NLTAIR2. For additional information on PIRHN visit [here](#).
- CCE option not available with WBA, WBASC, AASP, AARP, AAWB, AAWBSC, EGS, EGVF and BS.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

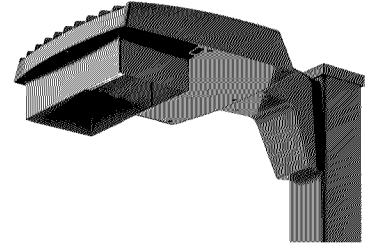
External Shields



House Side Shield



External Glare Shield

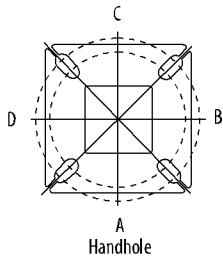


External 360 Full Visor

Pole/Mounting Information

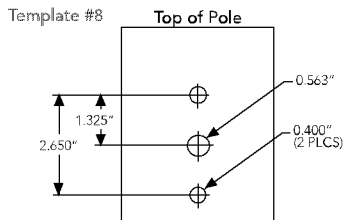
Accessories including bullhorns, cross arms and other adapters are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit [Accessories](#).

HANDHOLE ORIENTATION

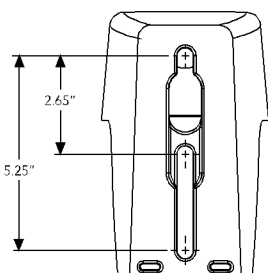


Handhole

RSX POLE DRILLING



RSX STANDARD ARM & ADJUSTABLE ARM



Round Tenon Mount - Pole Top Slipfitters

Tenon O.D.	RSX Mounting	Single	2 @ 180°	2 @ 90°	3 @ 120°	3 @ 90°	4 @ 90°
2 - 3/8"	RPA, AARP	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 320	AS3-5 390	AS3-5 490
2 - 7/8"	RPA, AARP	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	RPA, AARP	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Drill/Side Location by Configuration Type

Drilling Template	Mounting Option	Single	2 @ 180°	2 @ 90°	3 @ 120°	3 @ 90°	4 @ 90°
	Head Location	Side B	Side B & D	Side B & C	Round Pole Only	Side B, C & D	Side A, B, C & D
#8	Drill Nomenclature	DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS

RSX1 - Luminaire EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration		Single	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°	2 Side by Side	3 Side by Side	4 Side by Side
Mounting Type	Tilt									
SPA - Square Pole Adaptor	0°	0.57	1.03	1.05	1.52	1.36	2.03	1.31	1.7	2.26
RPA - Round Pole Adaptor		0.62	1.08	1.15	1.62	1.46	2.13	1.36	1.8	2.36
MA - Mast Arm Adaptor		0.49	0.95	0.89	1.36	1.2	1.87	1.23	1.54	2.1
IS - Integral Slipfitter AASP/AARP - Adjustable Arm Square/Round Pole	0°	0.57	1.03	1.05	1.52	1.36	2.03	1.31	1.7	2.26
	10°	0.68	1.34	1.33	2	1.74	2.64	1.35	2.03	2.71
	20°	0.87	1.71	1.73	2.56	2.26	3.42	1.75	2.62	3.49
	30°	1.24	2.19	2.3	3.21	2.87	4.36	2.49	3.73	4.97
	40°	1.81	2.68	2.98	3.85	3.68	5.30	3.62	5.43	7.24
	45°	2.11	2.92	3.44	4.2	4.08	5.77	4.22	6.33	8.44
	50°	2.31	3.17	3.72	4.52	4.44	6.26	4.62	6.94	9.25
	60°	2.71	3.66	4.38	5.21	5.15	7.24	5.43	8.14	10.86
	70°	2.78	3.98	4.54	5.67	5.47	7.91	5.52	8.27	11.03
	80°	2.76	4.18	4.62	5.97	5.76	8.31	5.51	8.27	11.03
	90°	2.73	4.25	4.64	6.11	5.91	8.47	5.45	8.18	10.97



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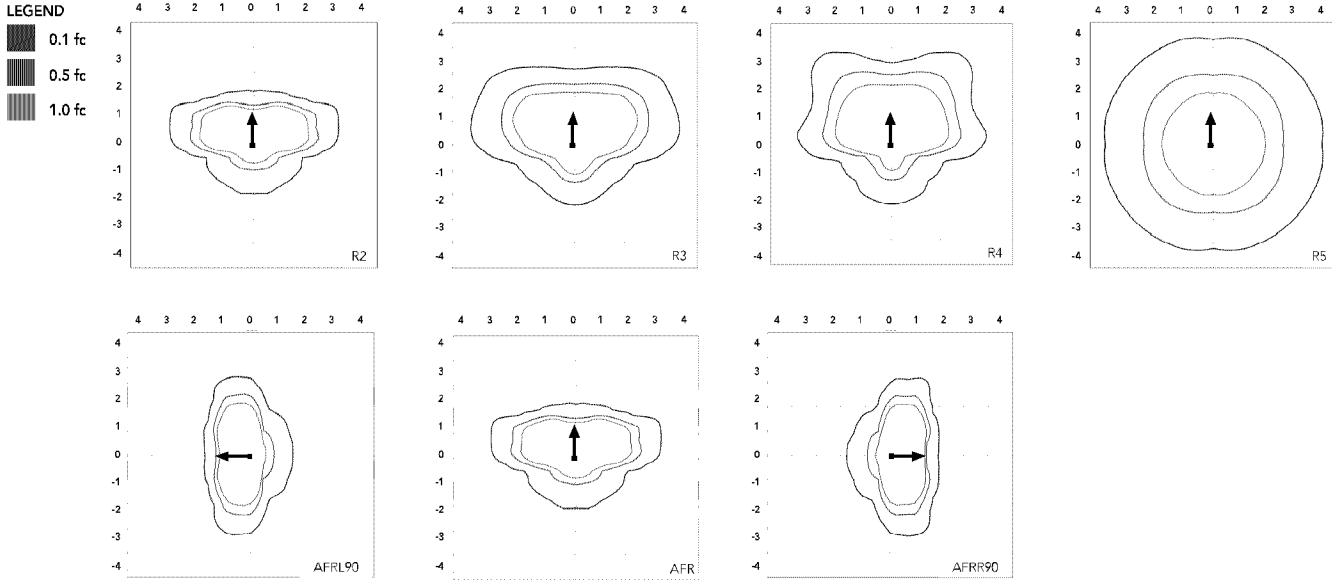
Lithonia RSX1 Area LED
Rev. 01/11/23
Page 2 of 9

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Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's RSX Area homepage.

Isofootcandle plots for the RSX1 LED P4 40K. Distances are in units of mounting height (20').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97
45°C	113°F	0.96
50°C	122°F	0.95

Electrical Load

Performance Package	System Watts (W)	Current (A)					
		120V	208V	240V	277V	347V	480V
P1	51W	0.42	0.25	0.21	0.19	0.14	0.11
P2	72W	0.60	0.35	0.30	0.26	0.21	0.15
P3	109W	0.91	0.52	0.45	0.39	0.31	0.23
P4	133W	1.11	0.64	0.55	0.48	0.38	0.27

Projected LED Lumen Maintenance

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.97	>0.95	>0.92

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

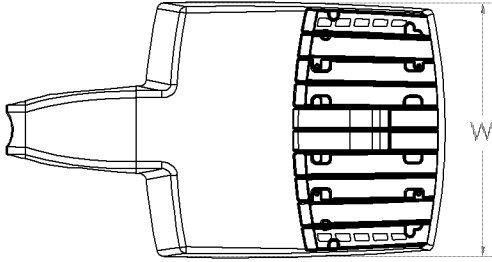
Performance Package	System Watts	Distribution Type	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	51W	R2	6,482	1	0	1	126	7,121	1	0	1	139	7,121	1	0	1	139
		R3	6,459	1	0	2	127	7,096	1	0	2	139	7,096	1	0	2	139
		R3S	6,631	1	0	1	129	7,286	1	0	2	142	7,286	1	0	2	142
		R4	6,543	1	0	2	128	7,189	1	0	2	141	7,189	1	0	2	141
		R4S	6,313	1	0	1	124	6,936	1	0	1	136	6,936	1	0	1	136
		R5	6,631	3	0	2	130	7,286	3	0	2	143	7,286	3	0	2	143
		R5S	6,807	3	0	1	133	7,479	3	0	1	147	7,479	3	0	1	147
		AFR	6,473	1	0	1	127	7,112	1	0	1	139	7,112	1	0	1	139
		AFRR90	6,535	2	0	2	127	7,179	2	0	2	140	7,179	2	0	2	140
P2	72W	AFRL90	6,562	2	0	1	128	7,210	2	0	2	140	7,210	2	0	2	140
		R2	8,991	2	0	1	123	9,878	2	0	1	135	9,878	2	0	1	135
		R3	8,959	2	0	2	124	9,843	2	0	2	137	9,843	2	0	2	137
		R3S	9,198	2	0	2	126	10,106	2	0	2	139	10,106	2	0	2	139
		R4	9,077	2	0	2	126	9,972	2	0	2	139	9,972	2	0	2	139
		R4S	8,757	1	0	2	122	9,622	2	0	2	134	9,622	2	0	2	134
		R5	9,198	4	0	2	128	10,106	4	0	2	140	10,106	4	0	2	140
		R5S	9,443	3	0	1	131	10,374	3	0	1	144	10,374	3	0	1	144
		AFR	8,979	2	0	1	125	9,865	2	0	1	137	9,865	2	0	1	137
P3	109W	AFRR90	9,064	3	0	2	124	9,959	3	0	2	137	9,959	3	0	2	137
		AFRL90	9,102	3	0	2	125	10,001	3	0	2	137	10,001	3	0	2	137
		R2	12,808	2	0	1	117	14,072	2	0	2	129	14,072	2	0	2	129
		R3	12,763	2	0	2	117	14,023	2	0	2	129	14,023	2	0	2	129
		R3S	13,104	2	0	2	120	14,397	2	0	2	132	14,397	2	0	2	132
		R4	12,930	2	0	2	119	14,206	2	0	2	130	14,206	2	0	2	130
		R4S	12,475	2	0	2	114	13,707	2	0	2	126	13,707	2	0	2	126
		R5	13,104	4	0	2	120	14,397	4	0	2	132	14,397	4	0	2	132
		R5S	13,452	3	0	2	123	14,779	3	0	2	136	14,779	3	0	2	136
P4	133W	AFR	12,791	2	0	1	117	14,053	2	0	2	129	14,053	2	0	2	129
		AFRR90	12,913	3	0	3	118	14,187	3	0	3	130	14,187	3	0	3	130
		AFRL90	12,967	3	0	2	118	14,247	3	0	3	130	14,247	3	0	3	130
		R2	14,943	2	0	2	112	16,417	2	0	2	123	16,417	2	0	2	123
		R3	14,890	2	0	3	112	16,360	2	0	3	123	16,360	2	0	3	123
		R3S	15,287	2	0	2	115	16,796	2	0	2	126	16,796	2	0	2	126
		R4	15,085	2	0	3	113	16,574	2	0	3	125	16,574	2	0	3	125
		R4S	14,554	2	0	2	109	15,991	2	0	2	120	15,991	2	0	2	120
		R5	15,287	4	0	2	115	16,796	4	0	2	126	16,796	4	0	2	126
		R5S	15,693	4	0	2	118	17,242	4	0	2	130	17,242	4	0	2	130
		AFR	14,923	2	0	2	112	16,395	2	0	2	123	16,395	2	0	2	123
		AFRR90	15,065	3	0	3	113	16,551	3	0	3	124	16,551	3	0	3	124
		AFRL90	15,128	3	0	3	114	16,621	3	0	3	125	16,621	3	0	3	125

Dimensions & Weights

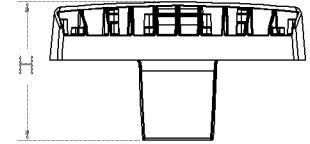
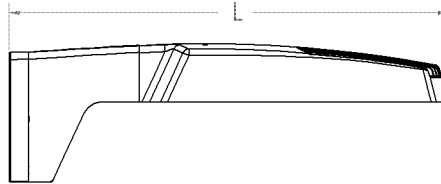
Luminaire Weight by Mounting Type

Mounting Configuration	Total Luminaire Weight
SPA	22 lbs
RPA	24 lbs
MA	22 lbs
WBA	25 lbs
WBASC	28 lbs
IS	25 lbs
AASP	25 lbs
AARP	27 lbs
AAWB	28 lbs
AAWSC	31 lbs

RSX1 with Round Pole Adapter (RPA)



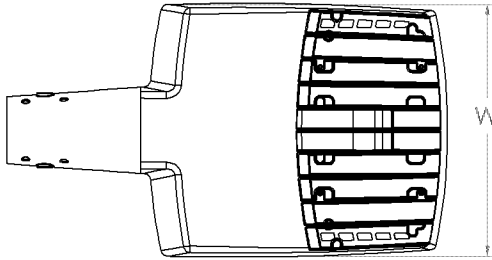
Length: 22.8" (57.9 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.2" (18.4 cm) Arm



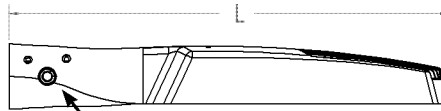
Note: RPA — Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



RSX1 with Mast Arm Adapter (MA)



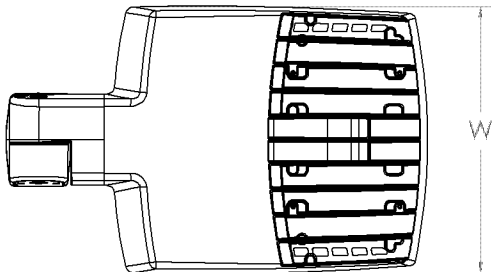
Length: 23.2" (59.1 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 3.5" (8.9 cm) Arm



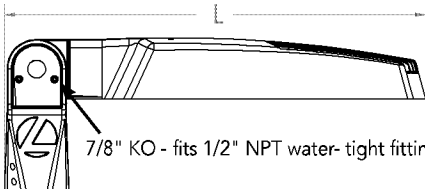
7/16" locking thru bolt/nut provided



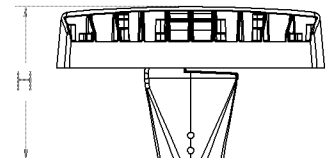
RSX1 with Adjustable Slipfitter (IS)



Length: 20.7" (52.7 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.6" (19.3 cm) Arm



7/8" KO - fits 1/2" NPT water-tight fitting



COMMERCIAL OUTDOOR

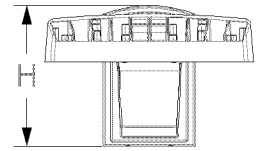
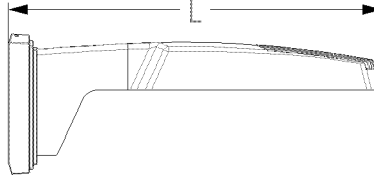
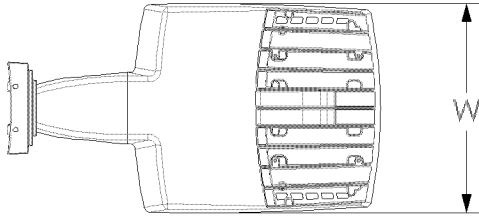
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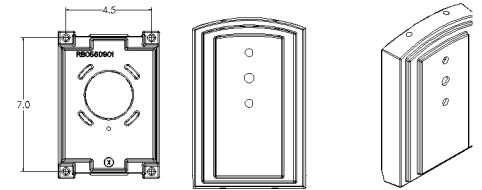
Dimensions

RSX1 with Wall Bracket (WBA)

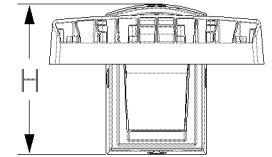
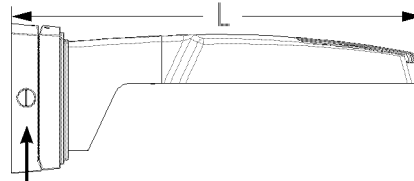
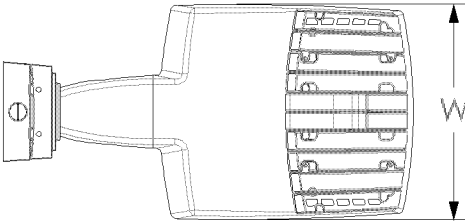


Length: 23.6" (59.9 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 8.9" (22.6 cm) Arm

Wall Bracket (WBA) Mounting Detail



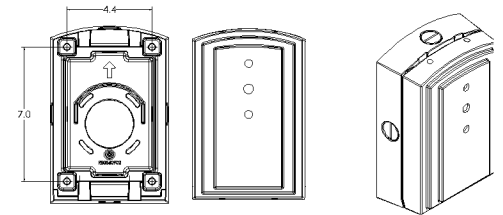
RSX1 with Wall Bracket with Surface Conduit Box (WBASC)



3/4" NPT taps with plugs - Qty (4) provided

Length: 25.3" (64.3 cm)
 Width: 13.3" (33.8 cm)
 Height: 3.0" (7.6 cm) Main Body
 9.2" (23.4 cm) Arm

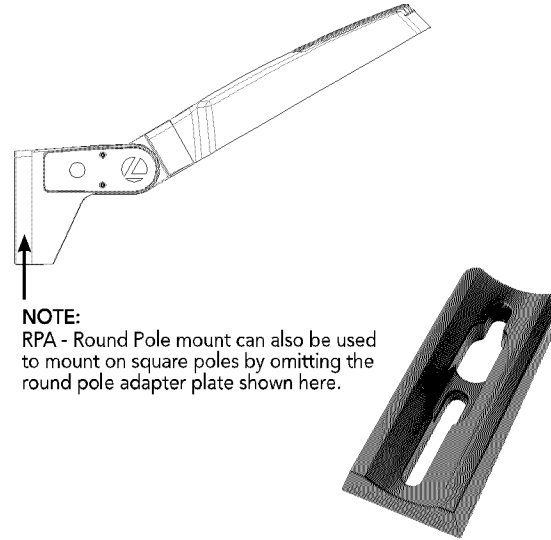
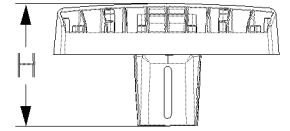
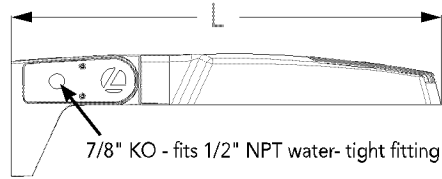
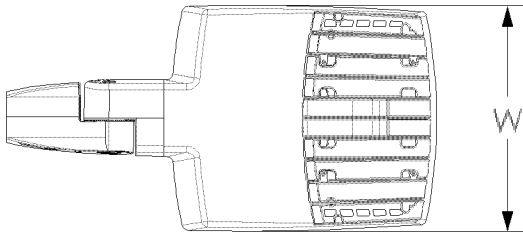
Surface Conduit Box (SCB) Mounting Detail



Attachment: Plan Set (1650 Leider Ln - New Public Works Facility Zoning Requests)

Dimensions

RSX1 with Adjustable Tilt Arm - Square or Round Pole (AASP or AARP)



NOTE:
RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.

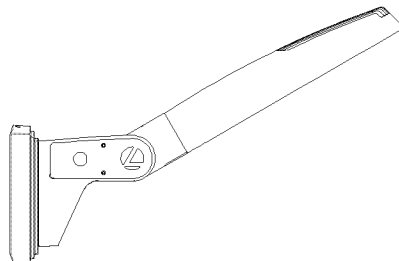
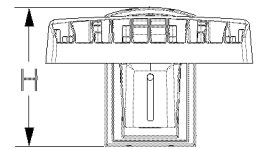
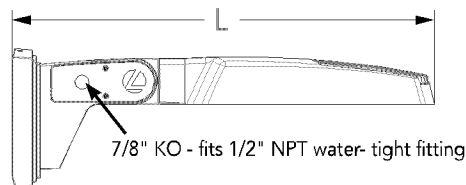
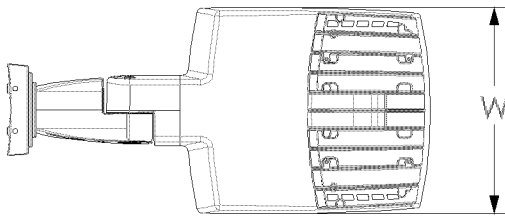
Length: 25.3" (65.3 cm) AASP
26.3" (66.8 cm) AARP
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
7.2" (18.2 cm) Arm

Notes

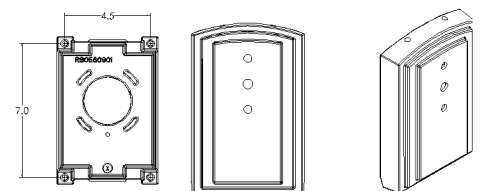
AASP: Requires 3.0" min. square pole for 1 at 90°. Requires 3.5" min. square pole for mounting 2, 3, 4 at 90°.

AARP: Requires 3.2" min. dia. round pole for 2, 3, 4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°.

RSX1 with Adjustable Tilt Arm with Wall Bracket (AAWB)



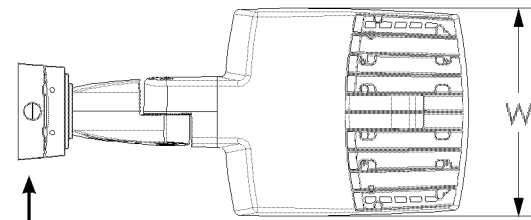
Wall Bracket (WBA) Mounting Detail



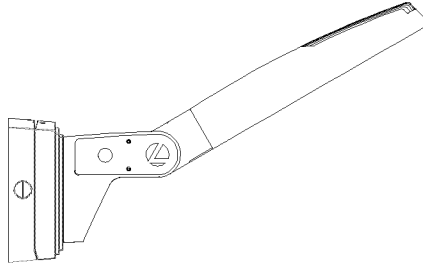
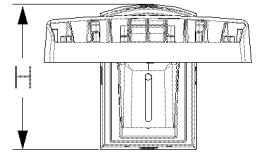
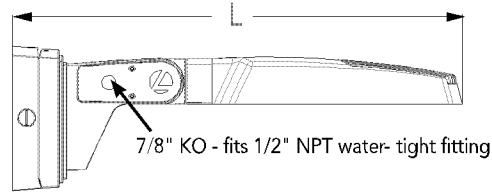
Length: 27.1" (68.8 cm)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
8.9" (22.6 cm) Arm

Dimensions

RSX1 with Adjustable Tilt Arm with Wall Bracket and Surface Conduit Box (AAWSC)

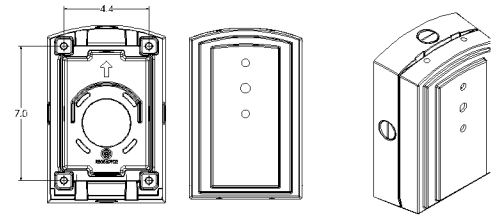


3/4" NPT taps
with plugs - Qty (4)
provided

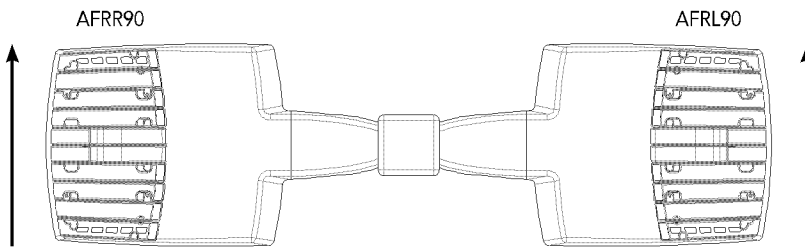


Length: 28.8" (73.2 cm)
Width: 13.3" (33.8 cm)
Height: 3.0" (7.6 cm) Main Body
9.2" (23.4 cm) Arm

Surface Conduit Box (SCB) Mounting Detail



Automotive Front Row - Rotated Optics (AFRR90/R90)

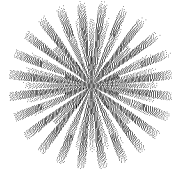
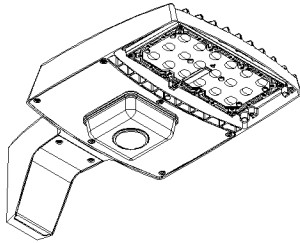


(Example: 2@180 - arrows indicate direction of light exiting the luminaire)

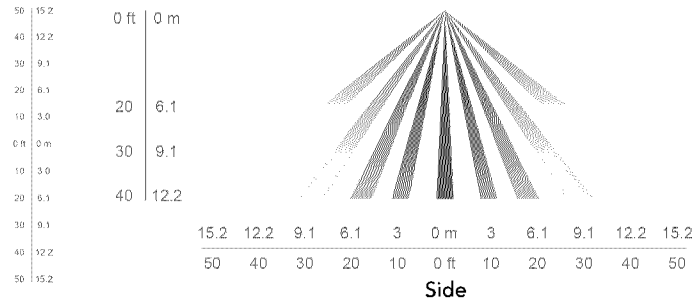
nLight Control - Sensor Coverage and Settings

nLight Sensor Coverage Pattern

NLTAIR2 PIRHN



Top



Side

Motion Sensor Default Settings - Option PIRHN						
Option	Dimmed State (unoccupied)	High Level (when occupied)	Photocell Operation	Dwell Time (occupancy time delay)	Ramp-up Time (from unoccupied to occupied)	Ramp-down Time (from occupied to unoccupied)
NLTAIR2 PIRHN	Approx. 30% Output	100% Output	Enabled @ 1.5FC	7.5 minutes	3 seconds	5 minutes

*Note: NLTAIR2 PIRHN default settings including photocell set-point, high/low dim rates, and occupancy sensor time delay are all configurable using the Clarity Pro App. Sensor coverage pattern shown with luminaire at 0°. Sensor coverage pattern is affected when luminaire is tilted.

FEATURES & SPECIFICATIONS

INTENDED USE

The RSX LED area luminaire is designed to provide a long-lasting, energy-efficient solution for the one-for-one replacement of existing metal halide or high pressure sodium lighting. The RSX1 delivers 7,000 to 17,000 lumens and is ideal for replacing 70W to 400W HID pole-mounted luminaires in parking lots and other area lighting applications.

CONSTRUCTION

The RSX LED area luminaire features a rugged die-cast aluminum main body that uses heat-dissipating fins and flow-through venting to provide optimal thermal management that both enhances LED performance and extends component life. Integral "no drill" mounting arm allows the luminaire to be mounted on existing pole drillings, greatly reducing installation labor. The light engines and housing are sealed against moisture and environmental contaminants to IP66. The low-profile design results in a low EPA, allowing pole optimization. All mountings are rated for minimum 1.5 G vibration load per ANSI C136.31. 3G Mountings: Include SPA, RPA, MA, IS, AASP, and AARP rated for 3G vibration. 1.5G Mountings: Include WBA, WBASC, AAWB and AAWSC rated for 1.5G vibration.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures superior adhesion as well as a minimum finish thickness of 3 mils. The result is a high-quality finish that is warranted not to crack or peel.

COASTAL CONSTRUCTION (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under superdurable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with crible rating of 10. Additional lead-times apply.

OPTICS

Precision acrylic refractive lenses are engineered for superior application efficiency, distributing the light to where it is needed most. Available in short and wide pattern distributions including Type 2, Type 3, Type 3S, Type 4, Type 4S, Type 5, Type 5S, AFR (Automotive Front Row), and AFR rotated AFR90 and ARFL90.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted on metal-core circuit boards and aluminum heat sinks to maximize heat dissipation. Light engines are IP66 rated. LED lumen maintenance is >L92/100,000 hours. CCT's of 3000K, 4000K and 5000K (minimum 70 CRI) are available. Fixtures ship standard with 0-10v dimming driver. Class 1 electronic drivers ensure system power factor >90% and THD <20%. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The RSX LED area luminaire has a wide assortment of control options. Dusk to dawn controls include MVOLT and 347V button-type photocells and NEMA twist-lock photocell receptacles.

nLIGHT AIR CONTROLS

The RSX LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing with photocontrol functionality and is suitable for mounting heights up to 40 feet. No commissioning is required when using factory default settings that provide basic stand-alone motion occupancy dimming that is switched on and off with a built-in photocell. See chart above for motion sensor default out-of-box settings. For more advanced wireless functionality such as group dimming, nLight AIR can be commissioned using a smartphone and the easy-to-use CLAIRITY app. nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Integral "no-drill" mounting arm allows for fast, easy mounting using existing pole drillings. Select the "SPA" option for square poles and the "RPA" option to mount to round poles. Note the RPA mount can also be used for mounting to square poles by omitting the RPA adapter plate. Select the "MA" option to attach the luminaire to a 2 3/8" horizontal mast arm or the "IS" option for an adjustable slipfitter that mounts on a 2 3/8" OD tenon. The adjustable slipfitter has an integral junction box and offers easy installation. Can be tilted up to 90° above horizontal. Additional mountings are available including a wall bracket, adjustable tilt arm for direct-to-pole and wall and a surface conduit box for wall mount applications.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/CP to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only. U.S. Patent No. D882, 146S

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

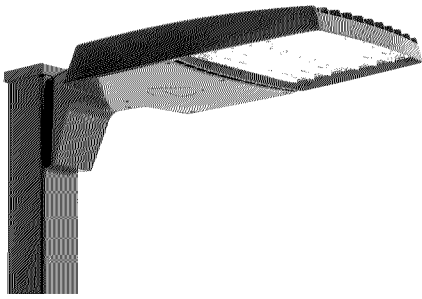


COMMERCIAL OUTDOOR

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RSX2 LED Area Luminaire

Catalog
Number

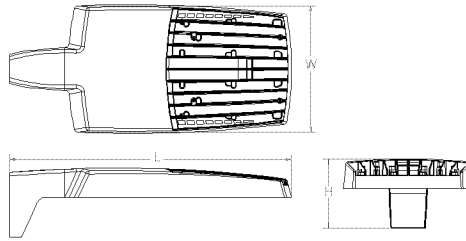
Notes

Type

RSX2 LED Area Luminaire is a high performance, energy efficient luminaire.

Specifications

EPA (ft²@0°):	0.69 ft ² (0.06 m ²)
Length:	29.3" (74.4 cm) (SPA mount)
Width:	13.4" (34.0 cm)
Height:	3.0" (7.6 cm) Main Body 7.2" (18.3 cm) Arm
Weight: (SPA mount)	30.0 lbs (13.6 kg)



Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX2 delivers 11,000 to 31,000 lumens allowing it to replace 250W to 1000W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

Ordering Information

EXAMPLE: RSX2 LED P6 40K R3 MVOLT SPA DDBXD

RSX2 LED									
Series	Performance Package	Color Temperature	Distribution		Voltage	Mounting			
RSX2 LED	P1	30K 3000K	R2	Type 2 Wide	MVOLT (120V-277V) ²	SPA	Square pole mounting (3.0" min. SQ pole for 1 at 90°, 3.5" min. SQ pole for 2, 3, 4 at 90°		
	P2	40K 4000K	R3	Type 3 Wide	HVOLT (347V-480V) ³	RPA	Round pole mounting (3.2" min. dia. RND pole for 2, 3, 4 at 90°, 3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°)		
	P3	50K 5000K	R3S	Type 3 Short	XVOLT (277V-480V) ⁴	MA	Mast arm adaptor (fits 2-3/8" OD horizontal tenon)		
	P4		R4	Type 4 Wide	(use specific voltage for options as noted)	IS	Adjustable slipfitter (fits 2-3/8" OD tenon) ⁶		
	P5		R4S	Type 4 Short	120 ³ 277 ⁵	WBA	Wall bracket ¹		
	P6		R5	Type 5 Wide ¹	208 ³ 347 ⁵	WBASC	Wall bracket with surface conduit box		
			R5S	Type 5 Short ¹	240 ³ 480 ⁵	AASP	Adjustable tilt arm square pole mounting ⁶		
			AFR	Automotive Front Row		AARP	Adjustable tilt arm round pole mounting ⁶		
			AFRR90	Automotive Front Row Right Rotated		AAWB	Adjustable tilt arm with wall bracket ⁶		
			AFRL90	Automotive Front Row Left Rotated		AAWSC	Adjustable tilt arm wall bracket and surface conduit box ⁶		

Options		Finish	
Shipped Installed		DDBXD	Dark Bronze
HS	House-side shield ⁷	DBLXD	Black
PE	Photocontrol, button style ^{8,9}	DNAXD	Natural Aluminum
PEX	Photocontrol external threaded, adjustable ^{9,10}	DWHXD	White
PER7	Seven-wire twist-lock receptacle only (no controls) ^{9,11,12,13}	DDBTXD	Textured Dark Bronze
CE34	Conduit entry 3/4" NPT (Qty 2)	DBLTXD	Textured Black
SF	Single fuse (120, 277, 347) ⁵	DNATXD	Textured Natural Aluminum
DF	Double fuse (208, 240, 480) ⁵	DWHGXD	Textured White
SPD20KV	20KV Surge pack (10KV standard)		
FAO	Field adjustable output ^{9,13}		
DMG	0-10V dimming extend out back of housing for external control (control ordered separate) ^{9,13}		
DS	Dual switching ^{9,14}		
Shipped Installed			
*Standalone and Networked Sensors/Controls (factory default settings, see table page 9)			
NLTAIR2	nLight AIR generation 2 ^{13,15,16}		
PIRHN	Networked, Bi-Level motion/ambient sensor (for use with NLTAIR2) ^{12,16,17}		
BAA	Buy America(n) Act Compliant		
*Note: PIRHN with nLight Air can be used as a standalone dimming sensor with out-of-box settings or as a wireless networked solution. See factory default settings table. Sensor coverage pattern is affected when luminaire is tilted.			
Shipped Separately (requires some field assembly)			
EGS	External glare shield ⁵		
EGFV	External glare full visor (360° around light aperture) ⁷		
BS	Bird spikes ¹⁵		



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Lithonia RSX2 Area LED
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Ordering Information

Accessories

Ordered and shipped separately.

RSX2HS	RSX2 House side shield (includes 2 shields)
RSX2EGS (FINISH) U	External glare shield (specify finish)
RSX2HSAFRR (FINISH) U	RSX2 House side shields for AFR rotated optics (includes 2 shields)
RSX2EGFV (FINISH) U	External glare full visor (specify finish)
RSXRPA (FINISH) U	RSX Universal round pole adaptor plate (specify finish)
RSKWBA (FINISH) U	RSX WBA wall bracket (specify finish) ¹
RSXSCB (FINISH) U	RSX Surface conduit box (specify finish, for use with WBA, WBA not included)
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁹
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁹
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁹
DSHORT SBK U	Shorting cap ¹⁹

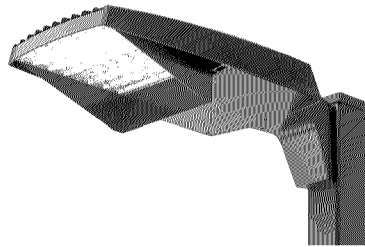
NOTES

- Any Type 5 distribution, is not available with WBA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- XVOLT driver not available with P1. XVOLT driver operates on any line voltage from 277V-480V (50/60 Hz). XVOLT not available with fusing (SF or DF) and not available with PE or PEX.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Maximum tilt is 90° above horizontal.
- It may be ordered as an accessory.
- Requires MVOLT or 347V.
- Not available in combination with other light sensing control options (following options cannot be combined: PE, PEX, PER7, FAO, DMG, DS, PIRHN). Exception: PE or PEX and FAO can be combined).
- Requires 120V, 208V, 240V, or 277V.
- Twistlock photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included. Dimming leads capped for future use.
- For units with option PER7, the mounting must be restricted to +/- 4 from horizontal aim per ANSI C136.10-2010.
- Two or more of the following options cannot be combined including DMG, DS, PER7, FAO and PIRHN.
- DS only available on performance package P5 and P6.
- Must be ordered with PIRHN.
- Requires MVOLT or HVOLT.
- Must be ordered with NLTAIR2. For additional information on PIRHN visit <https://www.acuitybrands.com>.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.

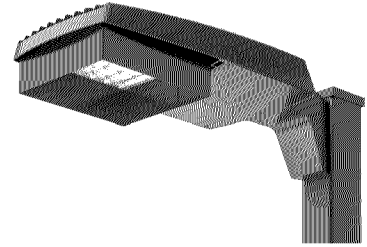
External Shields



House Side Shield



External Glare Shield

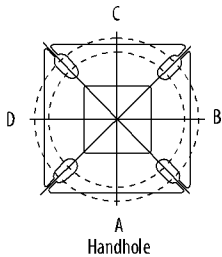


External 360 Full Visor

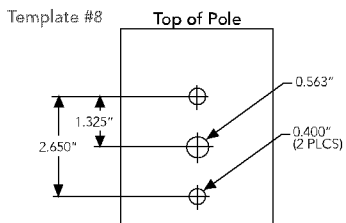
Pole/Mounting Information

Accessories including bullhorns, cross arms and other adaptors are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit [Accessories](#).

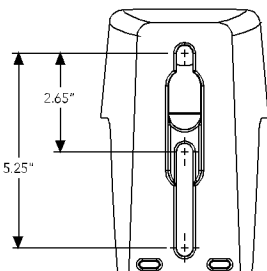
HANDHOLE ORIENTATION



RSX POLE DRILLING



RSX STANDARD ARM & ADJUSTABLE ARM



Round Tenon Mount - Pole Top Slipfitters

Tenon O.D.	RSX Mounting	Single	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2 - 3/8"	RPA, AARP	AS3-S 190	AS3-S 280	AS3-S 290	AS3-S 320	AS3-S 390	AS3-S 490
2 - 7/8"	RPA, AARP	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	RPA, AARP	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Drill/Side Location by Configuration Type

Drilling Template	Mounting Option	Single	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
	Head Location	Side B	Side B & D	Side B & C	Round Pole Only	Side B, C & D	Side A, B, C & D
#8	Drill Nomenclature	DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS

RSX2 - Luminaire EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration		Single	2 @ 90	2 @ 180	3 @ 90	3 @ 120	4 @ 90	2 Side by Side	3 Side by Side	4 Side by Side
Mounting Type	Tilt									
SPA - Square Pole Adaptor	0 °	0.69	1.22	1.27	1.8	1.61	2.39	1.37	2.06	2.74
RPA - Round Pole Adaptor		0.74	1.27	1.37	1.9	1.71	2.49	1.42	2.16	2.84
MA - Mast Arm Adaptor		0.61	1.14	1.11	1.64	1.45	2.23	1.29	1.9	2.58
IS - Integral Slipfitter AASP/AARP - Adjustable Arm Square/Round Pole	0 °	0.69	1.22	1.27	1.8	1.61	2.39	1.37	2.06	2.74
	10°	0.53	1.06	1.05	1.58	1.37	2.08	1.06	1.59	2.12
	20°	0.52	1.02	1.03	1.52	1.33	2.02	1.03	1.55	2.07
	30°	0.64	1.11	1.18	1.63	1.45	2.21	1.27	1.91	2.54
	40°	0.81	1.21	1.35	1.74	1.65	2.39	1.62	2.43	3.23
	45°	0.91	1.25	1.5	1.81	1.75	2.48	1.82	2.73	3.64
	50°	1.34	1.83	2.17	2.61	2.56	3.62	2.68	4.02	5.36
	60°	2.2	2.97	3.57	4.24	4.17	5.89	4.41	6.61	8.82
	70°	2.86	4.13	4.7	5.89	5.71	8.21	5.71	8.57	11.42
	80°	3.4	5.13	5.67	7.34	7.09	10.21	6.79	10.19	13.59
	90°	3.85	5.96	6.55	8.58	8.31	11.88	7.70	11.56	15.41



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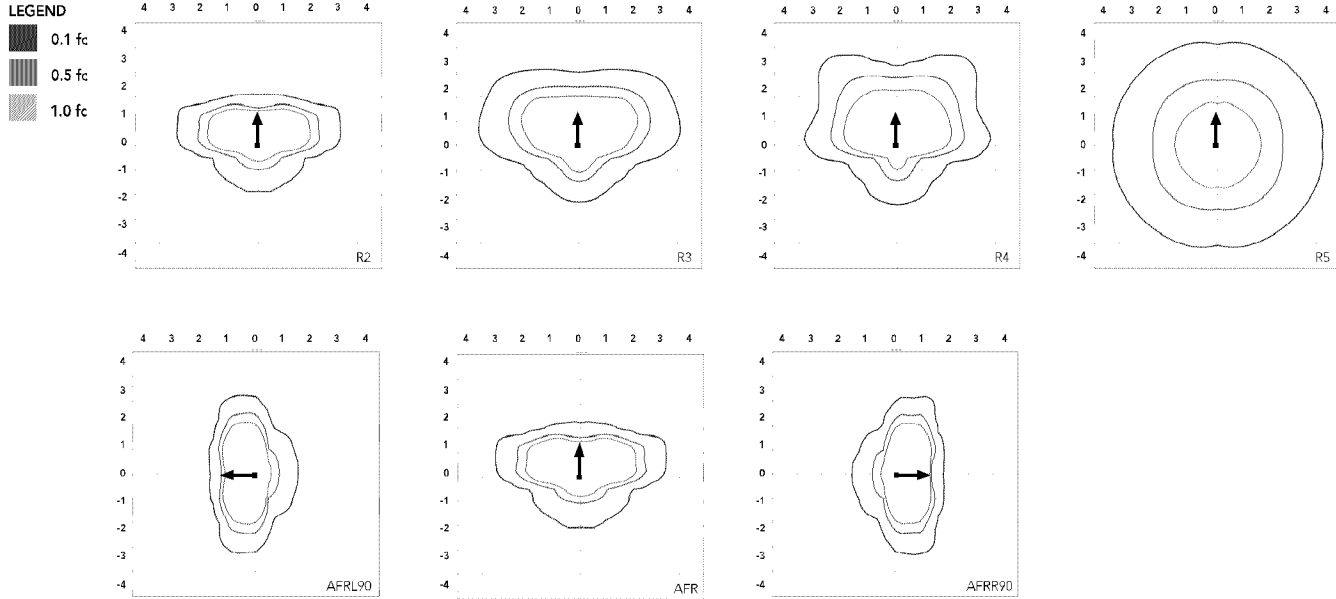
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Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's RSX Area homepage.

Isofootcandle plots for the RSX2 LED P6 40K. Distances are in units of mounting height (30').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97
45°C	113°F	0.96
50°C	122°F	0.95

Electrical Load

Performance Package	System Watts (W)	Current (A)					
		120V	208V	240V	277V	347V	480V
P1	71W	0.59	0.34	0.30	0.26	0.20	0.15
P2	111W	0.93	0.53	0.46	0.40	0.32	0.23
P3	147W	1.23	0.70	0.61	0.53	0.42	0.31
P4	187W	1.55	0.90	0.78	0.68	0.53	0.38
P5	210W	1.75	1.01	0.87	0.76	0.60	0.44
P6	244W	2.03	1.17	1.01	0.88	0.70	0.51

Projected LED Lumen Maintenance

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.97	>0.95	>0.92

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

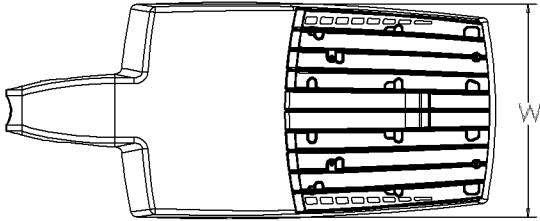
Performance Package	System Watts	Distribution Type	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	71W	R2	10,040	2	0	1	139	11,031	2	0	1	153	11,031	2	0	1	153
		R3	10,005	2	0	2	141	10,992	2	0	2	155	10,992	2	0	2	155
		R3S	10,271	2	0	2	143	11,285	2	0	2	157	11,285	2	0	2	157
		R4	10,136	2	0	2	143	11,136	2	0	2	157	11,136	2	0	2	157
		R4S	9,779	2	0	2	138	10,744	2	0	2	151	10,744	2	0	2	151
		R5	10,271	4	0	2	145	11,285	4	0	2	159	11,285	4	0	2	159
		R5S	10,544	3	0	1	149	11,585	3	0	2	163	11,585	3	0	2	163
		AFR	10,026	2	0	1	141	11,016	2	0	1	155	11,016	2	0	1	155
		AFRR90	10,122	3	0	2	140	11,121	3	0	2	154	11,121	3	0	2	154
		AFRL90	10,164	3	0	2	141	11,167	3	0	2	155	11,167	3	0	2	155
P2	111W	R2	15,712	2	0	2	138	17,263	2	0	2	151	17,263	2	0	2	151
		R3	15,657	2	0	3	141	17,202	3	0	3	155	17,202	3	0	3	155
		R3S	16,075	2	0	2	141	17,661	2	0	2	155	17,661	2	0	2	155
		R4	15,862	2	0	3	143	17,427	2	0	3	157	17,427	2	0	3	157
		R4S	15,304	2	0	2	138	16,815	2	0	2	151	16,815	2	0	2	151
		R5	16,075	4	0	2	145	17,661	5	0	3	159	17,661	5	0	3	159
		R5S	16,502	4	0	2	149	18,130	4	0	2	163	18,130	4	0	2	163
		AFR	15,691	2	0	2	141	17,240	2	0	2	155	17,240	2	0	2	155
		AFRR90	15,841	3	0	3	139	17,404	4	0	3	153	17,404	4	0	3	153
		AFRL90	15,907	3	0	3	139	17,477	4	0	3	153	17,477	4	0	3	153
P3	147W	R2	19,855	3	0	2	132	21,814	3	0	2	145	21,814	3	0	2	145
		R3	19,785	3	0	3	135	21,737	3	0	4	148	21,737	3	0	4	148
		R3S	20,312	3	0	3	135	22,317	3	0	3	149	22,317	3	0	3	149
		R4	20,044	3	0	3	136	22,022	3	0	4	150	22,022	3	0	4	150
		R4S	19,339	3	0	3	132	21,247	3	0	3	145	21,247	3	0	3	145
		R5	20,313	5	0	3	138	22,317	5	0	3	152	22,317	5	0	3	152
		R5S	20,852	4	0	2	142	22,910	4	0	2	156	22,910	4	0	2	156
		AFR	19,828	3	0	2	135	21,785	3	0	2	148	21,785	3	0	2	148
		AFRR90	20,017	4	0	3	133	21,992	4	0	3	147	21,992	4	0	3	147
		AFRL90	20,101	4	0	3	134	22,084	4	0	3	147	22,084	4	0	3	147
P4	187W	R2	22,836	3	0	2	120	25,090	3	0	2	132	25,090	3	0	2	132
		R3	22,756	3	0	4	122	25,002	3	0	4	134	25,002	3	0	4	134
		R3S	23,363	3	0	3	123	25,668	3	0	3	135	25,668	3	0	3	135
		R4	23,054	3	0	4	123	25,329	3	0	4	135	25,329	3	0	4	135
		R4S	22,243	3	0	3	119	25,059	3	0	3	134	25,059	3	0	3	134
		R5	23,363	5	0	3	125	25,669	5	0	4	137	25,669	5	0	4	137
		R5S	23,983	4	0	2	128	26,350	4	0	2	141	26,350	4	0	2	141
		AFR	22,806	3	0	2	122	25,056	3	0	2	134	25,056	3	0	2	134
		AFRR90	23,023	4	0	3	121	25,295	4	0	3	133	25,295	4	0	3	133
		AFRL90	23,120	4	0	3	122	25,401	4	0	3	134	25,401	4	0	3	134
P5	210W	R2	26,141	3	0	2	122	28,721	3	0	2	135	28,721	3	0	2	135
		R3	26,049	3	0	4	124	28,620	3	0	4	136	28,620	3	0	4	136
		R3S	26,744	3	0	3	125	29,383	3	0	4	138	29,383	3	0	4	138
		R4	26,390	3	0	4	126	28,994	3	0	4	138	28,994	3	0	4	138
		R4S	25,462	3	0	3	121	27,974	3	0	3	133	27,974	3	0	3	133
		R5	26,744	5	0	4	127	29,383	5	0	4	140	29,383	5	0	4	140
		R5S	27,454	4	0	2	131	30,163	4	0	2	144	30,163	4	0	2	144
		AFR	26,106	3	0	2	124	28,682	3	0	2	137	28,682	3	0	2	137
		AFRR90	26,354	4	0	3	123	28,955	5	0	3	136	28,955	5	0	3	136
		AFRL90	26,465	4	0	3	124	29,077	5	0	3	136	29,077	5	0	3	136
P6	244W	R2	27,646	3	0	2	112	30,374	3	0	2	123	30,374	3	0	2	123
		R3	27,549	3	0	4	113	30,267	3	0	4	124	30,267	3	0	4	124
		R3S	28,283	3	0	3	115	31,075	3	0	4	126	31,075	3	0	4	126
		R4	27,909	3	0	4	114	30,663	3	0	4	126	30,663	3	0	4	126
		R4S	26,928	3	0	3	110	29,585	3	0	3	121	29,585	3	0	3	121
		R5	28,284	5	0	4	116	31,075	5	0	4	127	31,075	5	0	4	127
		R5S	29,035	4	0	2	119	31,900	5	0	3	131	31,900	5	0	3	131
		AFR	27,608	3	0	2	112	30,332	3	0	2	123	30,332	3	0	2	123
		AFRR90	27,872	4	0	3	113	30,622	5	0	3	124	30,622	5	0	3	124
		AFRL90	27,989	4	0	3	113	30,751	5	0	3	125	30,751	5	0	3	125

Dimensions & Weights

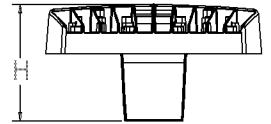
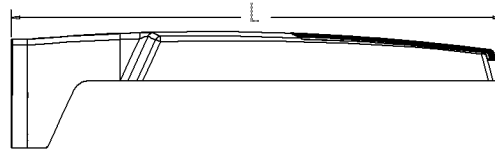
Luminaire Weight by Mounting Type

Mounting Configuration	Total Luminaire Weight
SPA	30 lbs
RPA	32 lbs
MA	30 lbs
WBA	33 lbs
WBASC	36 lbs
IS	33 lbs
AASP	33 lbs
AARP	35 lbs
AAWB	36 lbs
AAWSC	39 lbs

RSX2 with Round Pole Adapter (RPA)



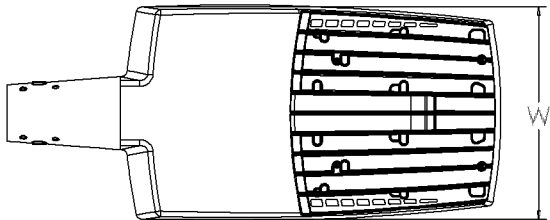
Length: 30.3" (77.0 cm)
 Width: 13.4" (34.0 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.2" (18.3 cm) Arm



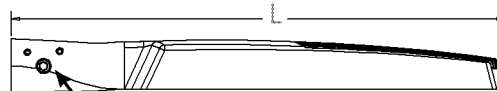
Note: RPA — Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.



RSX2 with Mast Arm Adapter (MA)



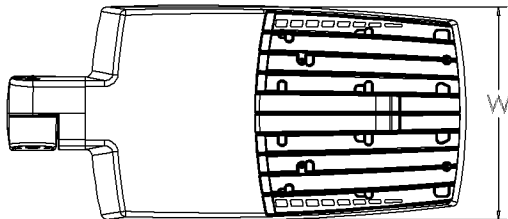
Length: 30.6" (77.7 cm)
 Width: 13.4" (34.0 cm)
 Height: 3.0" (7.6 cm) Main Body
 3.5" (8.9 cm) Arm



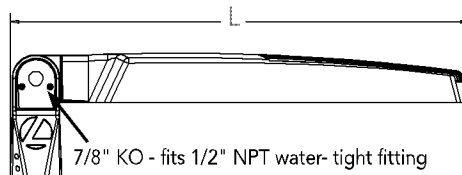
7/16" locking thru bolt/nut provided



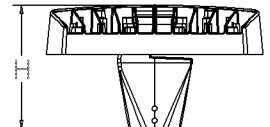
RSX2 with Adjustable Slipfitter (IS)



Length: 28.3" (71.9 cm)
 Width: 13.4" (34.0 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.6" (19.3 cm) Arm

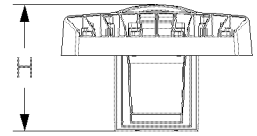
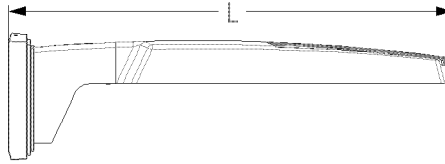
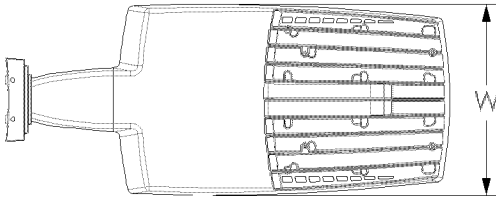


7/8" KO - fits 1/2" NPT water-tight fitting



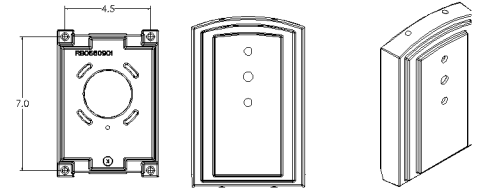
Dimensions

RSX2 with Wall Bracket (WBA)

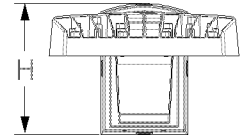
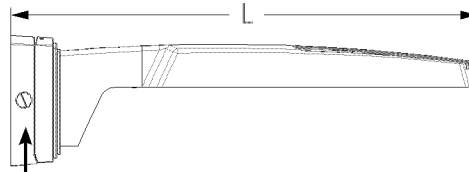
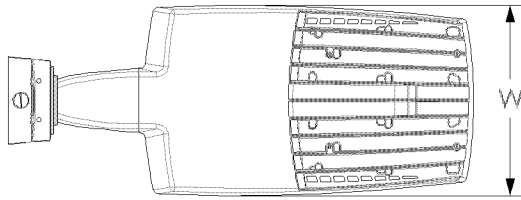


Length: 31.2" (79.2 cm)
 Width: 13.4" (41.7 cm)
 Height: 3.0" (7.6 cm) Main Body
 8.9" (22.6 cm) Arm

Wall Bracket (WBA) Mounting Detail



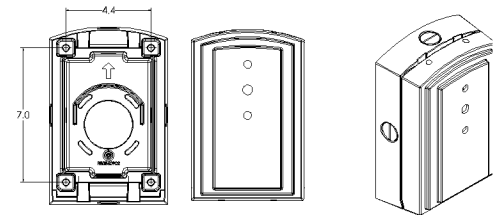
RSX2 with Wall Bracket with Surface Conduit Box (WBASC)



3/4" NPT taps with plugs - Qty (4) provided

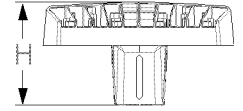
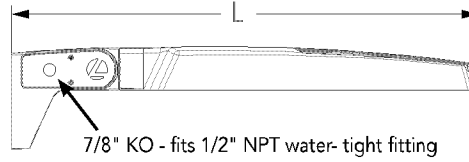
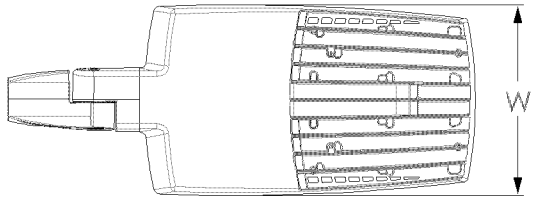
Length: 32.8" (83.3 cm)
 Width: 13.4" (41.7 cm)
 Height: 3.0" (7.6 cm) Main Body
 9.2" (23.4 cm) Arm

Surface Conduit Box (SCB) Mounting Detail

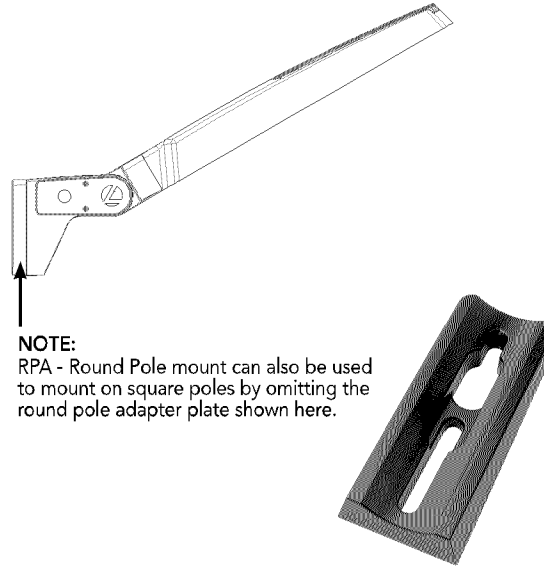


Dimensions

RSX2 with Adjustable Tilt Arm - Square or Round Pole (AASP or AARP)



Length: 32.8" (83.3 cm) **AASP**
 33.8" (85.9 cm) **AARP**
 Width: 13.4" (34.0 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.2" (18.2 cm) Arm



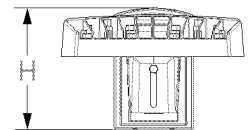
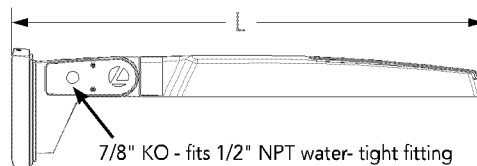
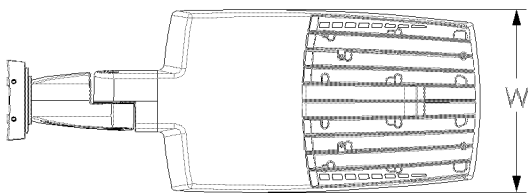
NOTE:
 RPA - Round Pole mount can also be used to mount on square poles by omitting the round pole adapter plate shown here.

Notes

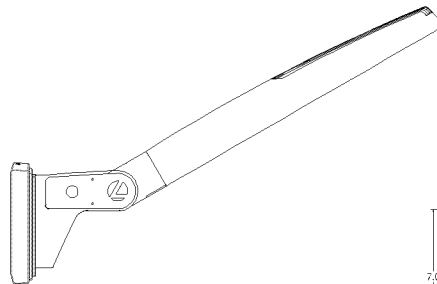
AASP: Requires 3.0" min. square pole for 1 at 90°. Requires 3.5" min. square pole for mounting 2, 3, 4 at 90°.

AARP: Requires 3.2" min. dia. round pole for 2, 3, 4 at 90°. Requires 3.0" min. dia. round pole for mounting 1 at 90°, 2 at 180°, 3 at 120°.

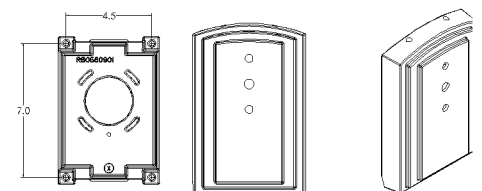
RSX2 with Adjustable Tilt Arm with Wall Bracket (AAWB)



Length: 34.7" (88.0 cm)
 Width: 13.4" (34.0 cm)
 Height: 3.0" (7.6 cm) Main Body
 8.9" (22.6 cm) Arm

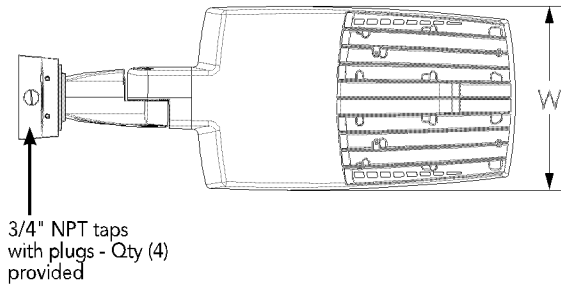


Wall Bracket (WBA) Mounting Detail

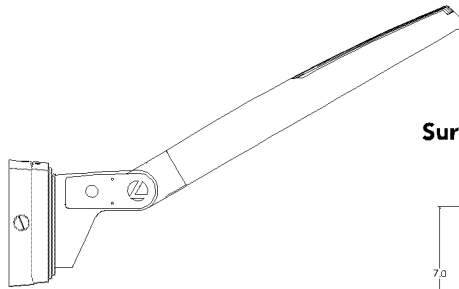
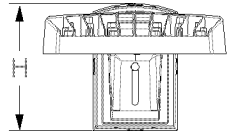
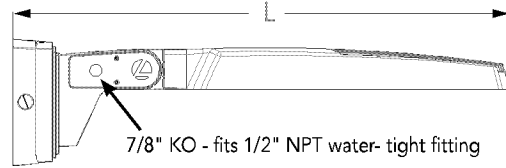


Dimensions

RSX2 with Adjustable Tilt Arm with Wall Bracket and Surface Conduit Box (AAWSC)

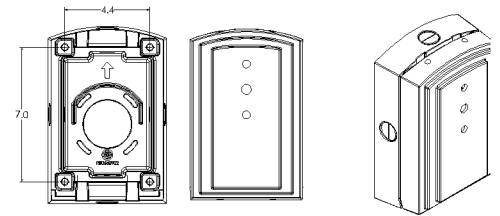


3/4" NPT taps
with plugs - Qty (4)
provided

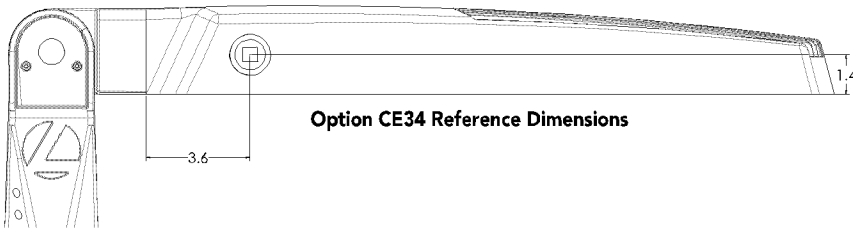


Length: 36.2" (91.9 cm)
Width: 13.4" (40.0 cm)
Height: 3.0" (7.6 cm) Main Body
9.2" (23.4 cm) Arm

Surface Conduit Box (SCB) Mounting Detail

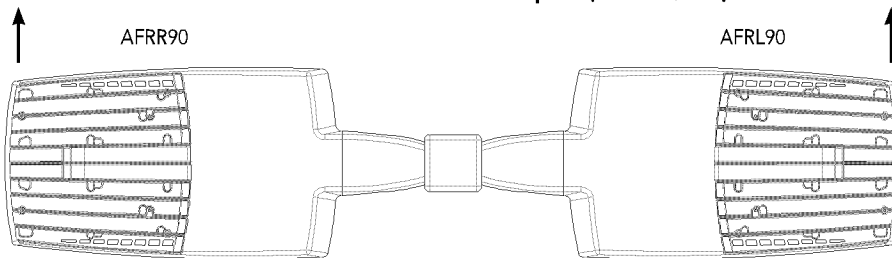


Additional Reference Drawings



Option CE34 Reference Dimensions

Automotive Front Row - Rotated Optics (AFRL90/R90)

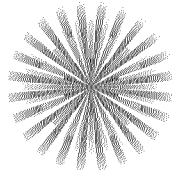
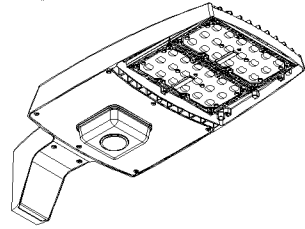


(Example: 2@180 - arrows indicate direction of light exiting the luminaire)

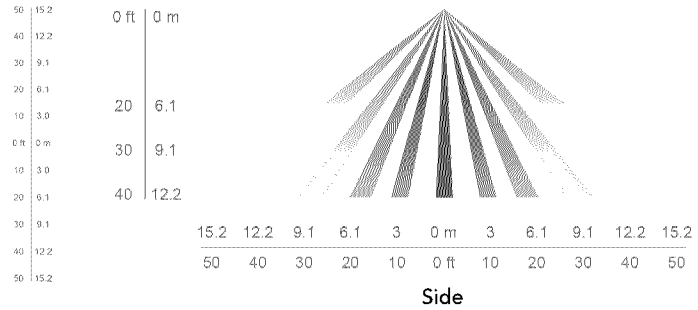
Attachment: Plan Set (1650 Leider Ln - New Public Works Facility Zoning Requests)

nLight Control - Sensor Coverage and Settings

NLTAIR2 PIRHN nLight Sensor Coverage Pattern



Top



Side

Motion Sensor Default Settings - Option PIRHN						
Option	Dimmed State (unoccupied)	High Level (when occupied)	Photocell Operation	Dwell Time (occupancy time delay)	Ramp-up Time (from unoccupied to occupied)	Ramp-down Time (from occupied to unoccupied)
NLTAIR2 PIRHN	Approx. 30% Output	100% Output	Enabled @ 1.5FC	7.5 minutes	3 seconds	5 minutes

*Note: NLTAIR2 PIRHN default settings including photocell set-point, high/low dim rates, and occupancy sensor time delay are all configurable using the Clarity Pro App. Sensor coverage pattern shown with luminaire at 0°. Sensor coverage pattern is affected when luminaire is tilted.

FEATURES & SPECIFICATIONS

INTENDED USE

The RSX LED area family is designed to provide a long-lasting, energy-efficient solution for the one-for-one replacement of existing metal halide or high pressure sodium lighting. The RSX2 delivers 11,000 to 31,000 lumens and is ideal for replacing 250W to 1000W HID pole-mounted luminaires in parking lots and other area lighting applications.

CONSTRUCTION AND DESIGN

The RSX LED area luminaire features a rugged die-cast aluminum main body that uses heat-dissipating fins and flow-through venting to provide optimal thermal management that both enhances LED performance and extends component life. Integral "no drill" mounting arm allows the luminaire to be mounted on existing pole drillings, greatly reducing installation labor. The light engines and housing are sealed against moisture and environmental contaminants to IP66. The low-profile design results in a low EPA, allowing pole optimization. Vibration rated per ANSI C136.31: 3G Mountings: Include SPA, RPA, MA, IS, AASP, AARP rated for 3G vibration. 1.5G Mountings: Include WBA, WBASC, AAWB and AAWSC rated for 1.5G vibration.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures superior adhesion as well as a minimum finish thickness of 3 mils. The result is a high-quality finish that is warranted not to crack or peel.

OPTICS

Precision acrylic refractive lenses are engineered for superior application efficiency, distributing the light to where it is needed most. Available in short and wide pattern distributions including Type 2, Type 3, Type 3S, Type 4, Type 4S, Type 5, Type 5S, AFR (Automotive Front Row) and AFR rotated AFR90 and AFR190.

ELECTRICAL

Light engine(s) configurations consist of high-efficiency LEDs mounted on metal-core circuit boards and aluminum heat sinks to maximize heat dissipation. Light engines are IP66 rated. LED lumen maintenance is >L92/100,000 hours. CCT's of 3000K, 4000K and 5000K (minimum 70 CRI) are available. Fixtures ship standard with 0-10v dimming driver. Class 1 electronic drivers ensure system power factor >90% and THD <20%. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The RSX LED area luminaire has a wide assortment of control options. Dusk to dawn controls include MVOLT and 347V button-type photocells and NEMA twist-lock photocell receptacles.

nLIGHT AIR CONTROLS

The RSX LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing with photocontrol functionality and is suitable for mounting heights up to 40 feet. No commissioning is required when using factory default settings that provide basic stand-alone motion occupancy dimming that is switched on and off with a built-in photocell. See chart above for motion sensor default out-of-box settings. For more advanced wireless functionality, such as group dimming, nLight AIR can be commissioned using a smartphone and the easy-to-use CLARITY app. nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclips. Additional information about nLight Air can be found [here](#).

INSTALLATION

Integral "no-drill" mounting arm allows for fast, easy mounting using existing pole drillings. Select the "SPA" option for square poles and the "RPA" option to mount to round poles. Note, the RPA mount can also be used for mounting to square poles by omitting the RPA adapter plate. Select the "MA" option to attach the luminaire to a 2 3/8" horizontal mast arm or the "IS" option for an adjustable slipfitter that mounts on a 2 3/8" OD tenon. The adjustable slipfitter has an integral junction box and offers easy installation. Can be tilted up to 90° above horizontal. Additional mountings are available including a wall bracket, adjustable tilt arm for direct-to-pole and wall and a surface conduit box for wall mount applications.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all product on this page utilizing 3000K color temperature only. US Patent No. D882, 146S

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

www.acuitybrands.com/support/warranty-terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

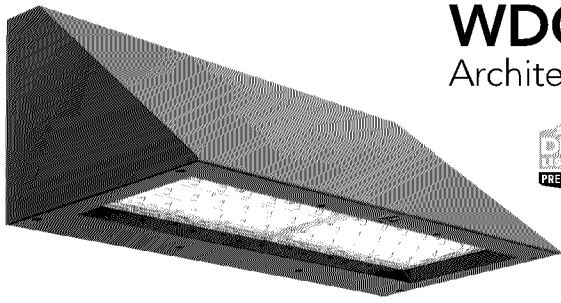


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Lithonia RSX2 Area LED
Rev. 11/21/22
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WDGE4 LED

Architectural Wall Sconce

Catalog
Number

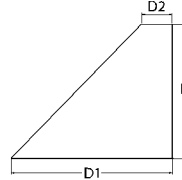
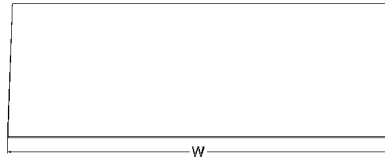
Notes

Type

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Specifications

Depth (D1): 10"
Depth (D2): 2"
Height: 9"
Width: 25"
Weight: 30.5 lbs
 (without options)



Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE4 has been designed to deliver up to 25,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.

WDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE4 LED P3 40K 70CRI R3 MVOLT SRM DDBX1

Series	Package		Color Temperature		CRI	Distribution		Voltage	Mounting	
WDGE4 LED	P1	P4	30K	3000K	70CRI	R2	Type 2	MVOLT	Shipped included	
	P2	P5	40K	4000K	80CRI	R3	Type 3	347 ¹	SRM	Surface mounting bracket
	P3	P6	50K	5000K		R4	Type 4	480 ¹	ICW	Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁴
						RFT	Forward Throw			
									Shipped separately	
									AWS	3/8inch Architectural wall spacer
									PBBW	Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.

Options						Finish	
PE ²	Photocell, Button Type					DDBXD	Dark bronze
DS ³	Dual switching (comes with 2 drivers and 2 light engines)					DBLXD	Black
DMG ³	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)					DNAXD	Natural aluminum
BCE	Bottom conduit entry for back box (PBBW). Total of 4 entry points.					DWHXD	White
SPD10KV	10kV Surge pack					DSSXD	Sandstone
BAA	Buy America(n) Act Compliant					DBBTXD	Textured dark bronze
						DBLBXD	Textured black
						DNATXD	Textured natural aluminum
						DWHGXD	Textured white
						DSSTXD	Textured sandstone

Accessories

Ordered and shipped separately.

WDGEAWS DDBXD WDGE 3/8inch Architectural Wall Spacer (specify finish)
 WDGE4PBBW DDBXD U WDGE4 surface-mounted back box (specify finish)

Standalone Sensors/Controls

PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.

PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.

PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.

PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.

Networked Sensors/Controls

NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights.

NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights.

See page 3 for out of box functionality

NOTES

- 347V and 480V not available with DS.
- PE not available in 480V and with sensors/controls.
- DS and DMG not available with sensors/controls.
- Not qualified for DLC. Not available with emergency battery backup



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WDGE4 LED
 Rev. 11/21/22

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Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1	77W	R2	11,173	146	2	0	1	12,125	158	2	0	1	12,125	158	2	0	1
		R3	10,951	143	2	0	2	11,884	155	2	0	2	11,884	155	2	0	2
		R4	11,224	147	2	0	2	12,180	159	2	0	2	12,180	159	2	0	2
		RFT	11,104	145	2	0	2	12,050	157	2	0	2	12,050	157	2	0	2
P2	106W	R2	14,960	141	3	0	2	16,235	153	3	0	2	16,235	153	3	0	2
		R3	14,663	138	2	0	2	15,912	150	2	0	3	15,912	150	2	0	3
		R4	15,028	141	2	0	2	16,308	153	2	0	3	16,308	153	2	0	3
		RFT	14,868	140	2	0	2	16,134	152	2	0	2	16,134	152	2	0	2
P3	123W	R2	16,993	138	3	0	2	18,441	150	3	0	2	18,441	150	3	0	2
		R3	16,655	136	2	0	3	18,074	147	3	0	3	18,074	147	3	0	3
		R4	17,070	139	2	0	3	18,524	151	3	0	3	18,524	151	3	0	3
		RFT	16,888	138	2	0	3	18,327	149	2	0	3	18,327	149	2	0	3
P4	140W	R2	18,958	136	3	0	2	20,573	147	3	0	2	20,573	147	3	0	2
		R3	18,581	133	3	0	3	20,164	144	3	0	3	20,164	144	3	0	3
		R4	19,044	136	3	0	3	20,667	148	3	0	3	20,667	148	3	0	3
		RFT	18,841	135	2	0	3	20,446	146	3	0	3	20,446	146	3	0	3
P5	156W	R2	20,919	134	3	0	2	22,702	146	3	0	2	22,702	146	3	0	2
		R3	20,503	132	3	0	3	22,250	143	3	0	3	22,250	143	3	0	3
		R4	21,014	135	3	0	3	22,804	147	3	0	4	22,804	147	3	0	4
		RFT	20,790	134	3	0	3	22,561	145	3	0	3	22,561	145	3	0	3
P6	185W	R2	23,725	128	3	0	2	25,746	139	3	0	2	25,746	139	3	0	2
		R3	23,253	126	3	0	4	25,234	136	3	0	4	25,234	136	3	0	4
		R4	23,832	129	3	0	4	25,863	140	3	0	4	25,863	140	3	0	4
		RFT	23,578	127	3	0	3	25,587	138	3	0	4	25,587	138	3	0	4

Electrical Load

Performance Package	System Watts	Current (A)					
		120V	208V	240V	277V	347V	480V
P1	77W	0.635	0.366	0.319	0.280	0.223	0.161
P2	106W	0.889	0.514	0.449	0.395	0.309	0.228
P3	123W	1.014	0.585	0.510	0.447	0.356	0.258
P4	140W	1.159	0.668	0.582	0.509	0.403	0.294
P5	156W	1.296	0.743	0.647	0.564	0.451	0.326
P6	185W	1.512	0.864	0.751	0.655	0.526	0.378

Lumen Multiplier for 80CRI

CCT	Multiplier
30K	0.891
40K	0.906
50K	0.906

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.05
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.98	>0.96	>0.92



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WDGE4 LED
Rev. 11/21/22

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Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage.
Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND



MH = 18ft
Grid = 18ft x 18ft

WDGE4 LED P2 40K 70CRI R2

WDGE4 LED P2 40K 70CRI R3

WDGE4 LED P2 40K 70CRI R4

WDGE4 LED P2 40K 70CRI RFT

Control / Sensor Options

Motion/Ambient Sensor (PIR_, PIRH_)

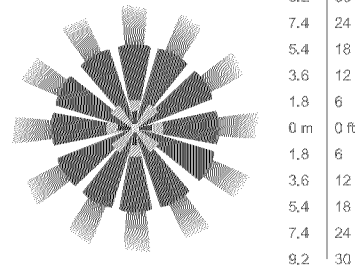
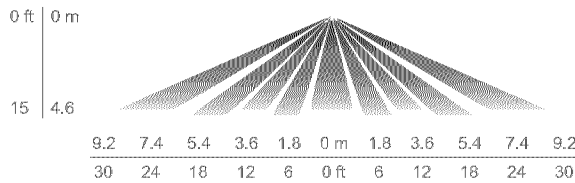
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

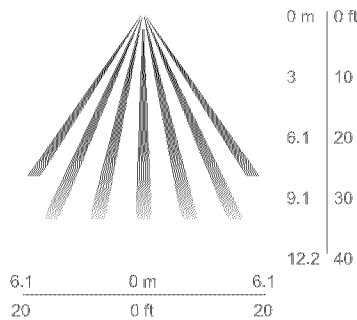
PIR

HIGH VIEW

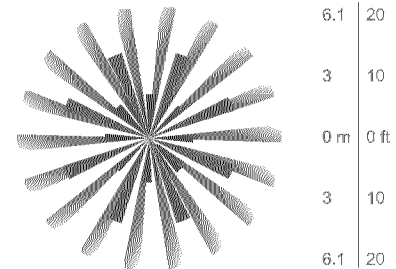


PIRH

SIDE VIEW



TOP VIEW



Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec

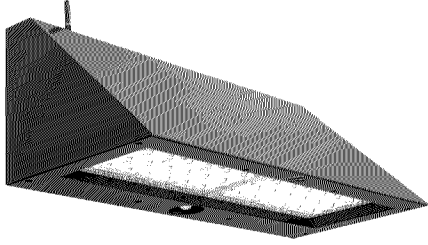


COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WDGE4 LED
Rev. 11/21/22

Mounting, Options & Accessories

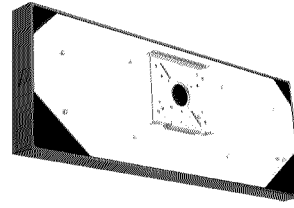


**NLTAIR2 PIR – nLight AIR
Motion/Ambient Sensor**

D = 10"

H = 11"

W = 25"

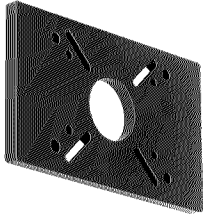


PBBW – Surface-Mounted Back Box
Use when there is no junction box available.

D = 1.75"

H = 9"

W = 25"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing to optimize thermal transfer from the light engine and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. Light engines are available in 3000 K, 4000 K or 5000 K configurations. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L92/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated; luminaire is IP65 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature and SRM mounting only.

BUY AMERICAN ACT

This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations.

Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

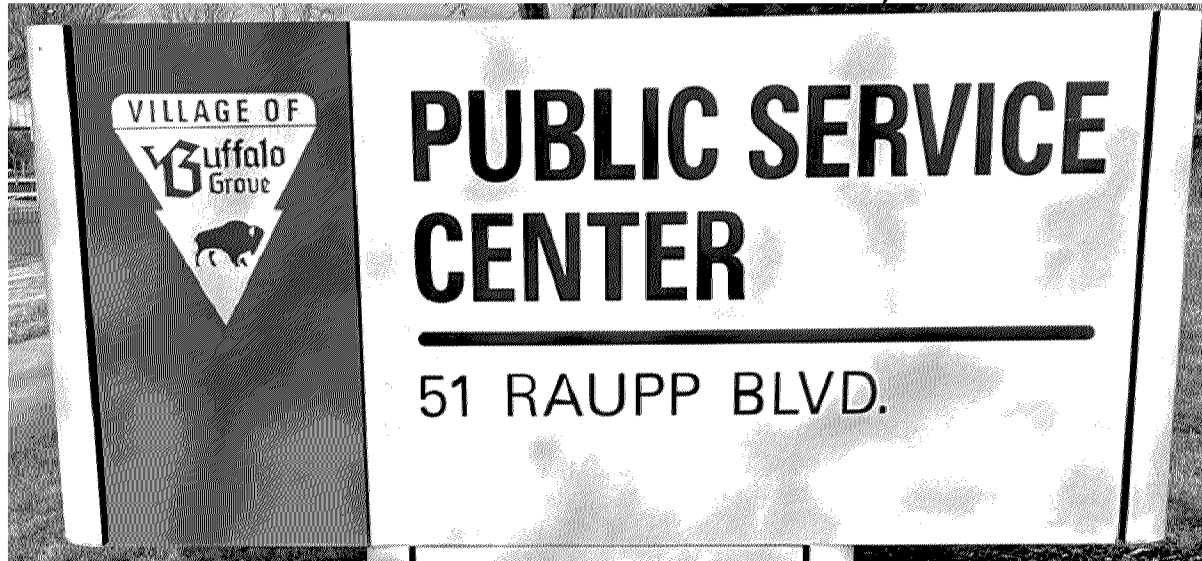
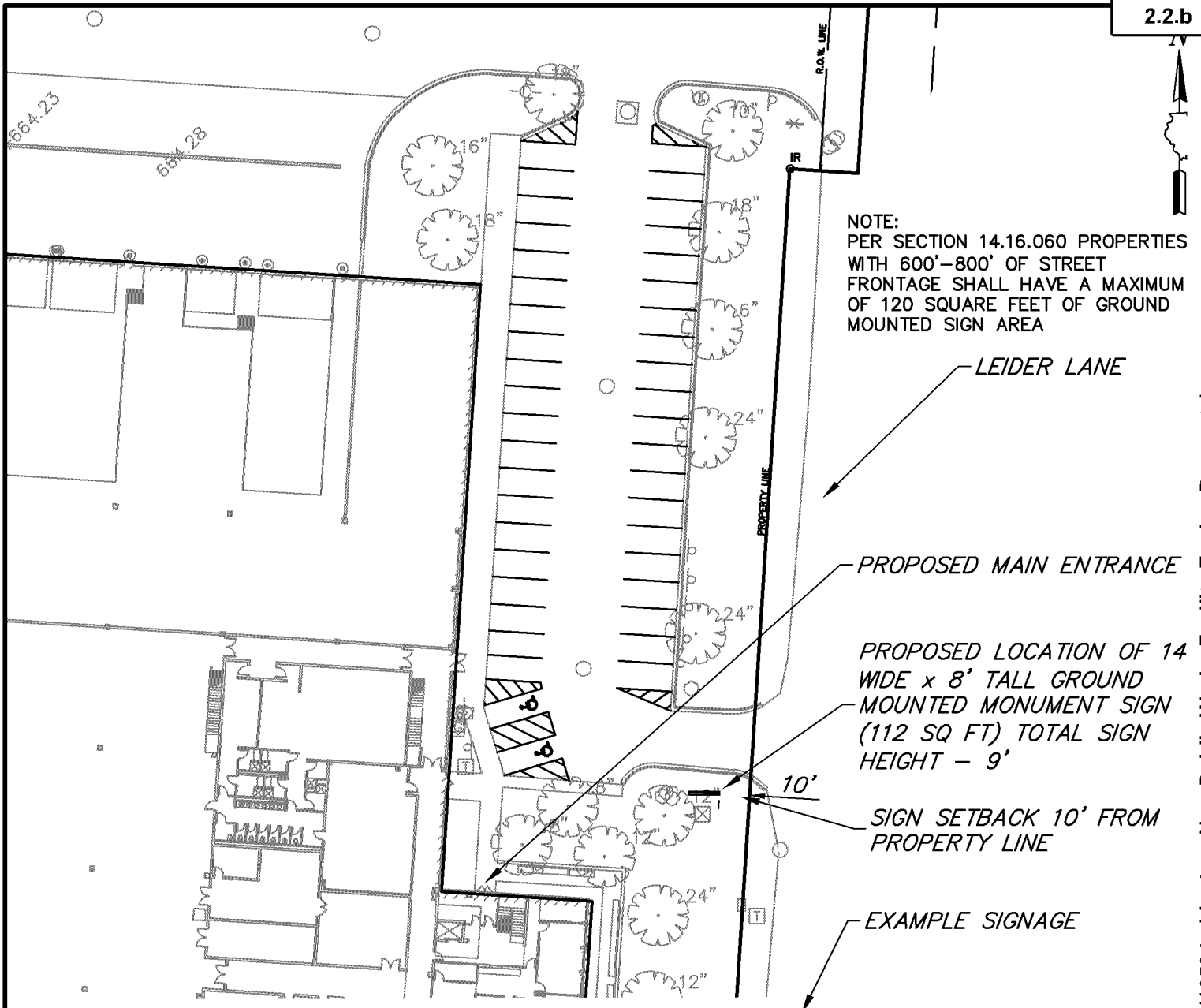


COMMERCIAL OUTDOOR

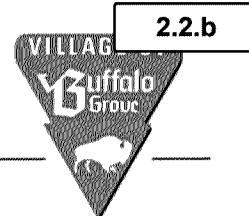
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WDGE4 LED
Rev. 11/21/22

Packet Pg. 68



VILLAGE OF
BUFFALO GROVE



Engineering Division
Fifty-One Raupp Blvd
Buffalo Grove, IL 60089-2198

Darren T. Monico, P.E.
Village Engineer
Phone 847-459-2523
dmonico@vbg.org

January 10, 2023

Nicole Woods
Director of Community Development
Village of Buffalo Grove

RE: 1650 Leider Lane Text Amendment Application

Dear Ms. Woods,

The Village of Buffalo Grove Public Works Department is requesting a Text Amendment to the Zoning Code that would allow Public Works Facilities as an allowable Special Use.

Currently the Zoning Code allows governmental facilities such as police stations or fire stations as a Special Use, but it does not allow a Public Works facility.

Therefore, we are requesting a Text Amendment to the Zoning Code that would allow Public Works Facilities as an allowable Special Use. The current code language is:

17.48.020.C. Special Uses. The following special uses may be permitted in specific situations in accordance with the procedures outlined in Chapter 17.28 of this Title, as appropriate:

11. Police station or fire station;

We propose that subsection 11 is amended to read:

11. Police station, fire station or public works facilities;

Thank you for your consideration.

Darren Monico, P.E.
Village Engineer
Village of Buffalo Grove

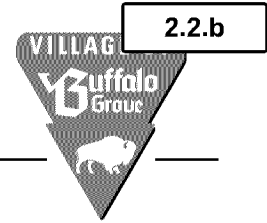
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Packet Pg. 70

Attachment: Plan Set (1650 Leider Ln - New Public Works Facility Zoning Requests)

VILLAGE OF BUFFALO GROVE



Engineering Division
Fifty-One Raupp Blvd.
Buffalo Grove, IL 60089-2198

Darren T. Monico, P.E.
Village Engineer
Phone 847-459-2523
dmonico@vbg.org

January 12, 2023

Nicole Woods
Director of Community Development
Village of Buffalo Grove

RE: 1650 Leider Lane Special Use Response Letter

Dear Ms. Woods,

As the Village of Buffalo Grove Public Works Department is requesting a special use for the proposed Public Works facility and outside storage of materials at 1650 Leider Lane, below is our response to the special use criteria.

1. The special use will serve the public convenience at the location of the subject property; or the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

Response – The Public Works facility will serve the public convenience and is a benefit to the public health, safety, morals, comfort, and general welfare of the Village. The Public Works Department provides maintenance of the roads and utilities in the Village that affect all residents daily. Allowing outside storage is a critical component of these responsibilities.

2. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with said special use, the size of the subject property in relation to such special use, and the location of the site with respect to streets giving access to it shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located.

Response – The Public Works Facility at this location is appropriately sized for the building and property, and the nature and intensity of the operations and outside storage is in harmony with the operations of the adjacent properties.

3. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations with the neighborhood.

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Packet Pg. 71

Attachment: Plan Set (1650 Leider Ln - New Public Works Facility Zoning Requests)

Response – The proposed use and location of outside storage will not affect the surrounding properties in a negative manner as the use is appropriate for the industrial district and is similar to surrounding properties. The outside storage will be mostly enclosed, with the open side facing the Public Works building.

4. The nature, location and size of the buildings or structures involved with the establishment of the special use will not impede, substantially hinder or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie.

Response – As this is an existing building, the proposed use of this building and outside storage will not impede or discourage development and use of the adjacent properties as the proposed use is consistent with other properties in the area – many of which also store materials outside. The previous tenant on the site was also granted a special use for outside storage of materials.

5. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided.

Response – There are sufficient existing utilities and road access for this facility. No new utilities or roads or access drives are needed for this special use.

6. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance and minimize traffic congestion in the public streets.

Response – The parking and driveways will be sufficiently sized for the proposed special use and will be appropriately screened by the existing 10' fence. All surrounding uses are industrial properties with similar or more intensive uses. It is anticipated that truck traffic would be reduced from the previous use of the site.

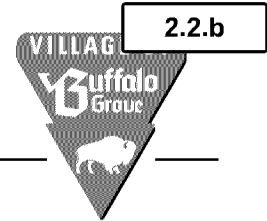
7. The proposed use will conform to all other applicable regulations of the zoning district, except the variations that are being requested separately.

Response – The proposed use will still meet the other regulations of the zoning district, except for the few variations that are being requested.

For these reasons, the Public Works Department is requesting that a Special Use be granted to allow a Public Works Facility and outside storage of materials on the property at 1650 Leider Lane. Thank you for your consideration,

Darren Monico, P.E.
Village Engineer

VILLAGE OF BUFFALO GROVE



Engineering Division
Fifty-One Raupp Blvd.
Buffalo Grove, IL 60089-2198

Darren T. Monico, P.E.
Village Engineer
Phone 847-459-2523
dmonico@vbg.org

January 12, 2023

Nicole Woods
Director of Community Development
Village of Buffalo Grove

RE: 1650 Leider Lane Variation Response Letter

Dear Ms. Woods,

As the Village of Buffalo Grove Public Works Department is requesting three zoning variations for the placement of accessory structures and semi-open storage of materials on the property at 1650 Leider Lane, below is our response to the zoning requirement criteria.

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the zoning district in which it is located.

Response – The location of the salt dome and material storage structures and allowing semi-open storage are critical pieces to allow this building to be an efficient base for the Public Works Department. Without these items the property would provide less efficient and effective Public Works operations that would reduce the service levels to the residents.

2. The plight of the owner is due to unique circumstances.

Response – The Public Works facility in and of itself is a unique use that requires certain amenities (salt storage dome, outdoor materials storage, etc.). Being that an existing building is being reused for the new facility, there are site constraints that result in the need for the requested variations.

3. The proposed variation will not alter the essential character of the neighborhood.

Response – The proposed use and operation of the Public Works building is in character with the adjacent properties, and it will not alter the character of the neighborhood. The accessory structures are tucked back to the side and rear of the principal building and the outside storage will be partially screened by the storage structures and with a 10-foot fully enclosed fence.

For these reasons, the Public Works Department is requesting that three Zoning Variations be granted for the property at 1650 Leider Lane. Thank you for your consideration,

Darren Monico, P.E.
Village Engineer

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12/7/2022

**MINUTES OF THE REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION OF THE
VILLAGE OF BUFFALO GROVE HELD IN THE COUNCIL CHAMBERS, 50 RAUPP BOULEVARD,
BUFFALO GROVE, ILLINOIS ON WEDNESDAY, DECEMBER 7, 2022**

Call to Order

The meeting was called to order at 7:30 PM by Chairman Frank Cesario

Public Hearings/Items For Consideration

1. Consideration of Variation to the Village Zoning Ordinance, Section 17.36.030.F, Pertaining to Design and Maintenance, for Impervious Surfaces to Exceed the Forty Percent Front Yard Coverage Limitation and for a Driveway to Exceed the Maximum Width Permitted at the Sidewalk for the Property Located at 89 E Fabish Drive. (Trustee Johnson) (Staff Contact: Andrew Binder)

Binder provided background on the subject property and the two variations being requested by the petitioners.

Com. Richards referenced the orange portion of the driveway on packet page 4.

Binder reviewed the measurements of the driveway extension.

Com. Davis asked about the neighboring property also needed a variation.

Binder said he was unsure if they needed a variation.

Mr. Dann thanked the commissioners. He noted that he did not know he needed a permit for brick pavers and thought they were more landscape rather than a driveway extension.

Com. Worlikar asked staff how many properties in the Village have public sidewalk on their property and not within the right-of-way.

Binder said it is a unique situation.

Mr. Dann said the surveyor also said it was unique.

Chairperson referenced packet page 19 .

Minutes Acceptance: Minutes of Dec 7, 2022 7:30 PM (Approval of Minutes)

12/7/2022

Chairperson reference the driveway adjacent to the subject property. He noted it fits in with the neighborhood. If the sidewalk was not there it would not be an issue.

Closed the public hearing at 7:43 PM.

The Village staff report was entered as exhibit one .

91 E Fabish Drive, Buffalo Grove, provided testimony on behalf of the neighbors. Noting the Danns had talked with them before they did the first extension and even helped with the brick pavers.

Com. Khan made a motion to recommend for approval variations to Section 17.36. of the Buffalo Grove Zoning Ordinance to allow existing impervious surfaces on the property to exceed the forty percent front yard coverage limitation and for the driveway to exceed the maximum width permitted at the sidewalk at 89 E Fabish Drive, provided the existing driveway remains in accordance with the documents and plans submitted as part of this petition.

Com. Richards seconded the motion.

Com Richards spoke in favor of the motion.

Com Worlikar spoke in favor of the motion.

Com. Davis spoke in favor of the motion.

Chairperson Cesario spoke in favor of the motion.

RESULT:	RECOMMENDATION TO APPROVE [UNANIMOUS]
	Next: 1/3/2023 7:30 PM
AYES:	Spunt, Cesario, Khan, Richards, Worlikar, Davis
ABSENT:	Adam Moodhe, Mitchell Weinstein, Amy Au

Regular Meeting

Other Matters for Discussion

Approval of Minutes

1. Planning and Zoning Commission - Regular Meeting - Nov 16, 2022 7:30 PM

Minutes Acceptance: Minutes of Dec 7, 2022 7:30 PM (Approval of Minutes)

12/7/2022

RESULT:	ACCEPTED [5 TO 0]
AYES:	Spunt, Cesario, Khan, Richards, Davis
ABSTAIN:	Neil Worlikar
ABSENT:	Adam Moodhe, Mitchell Weinstein, Amy Au

Chairman's Report

Chairperson Cesario thanked the commissioners for their dedication to the Planning and Zoning Commission.

Committee and Liaison Reports

Purvis read Com. Weinstine's board meeting recap email.

Staff Report/Future Agenda Schedule

Purvis provided updates on the future agenda schedule.

Public Comments and Questions

Adjournment

The meeting was adjourned at 7:57 PM

Action Items

Kelly Purvis

APPROVED BY ME THIS 7th DAY OF December, 2022

Minutes Acceptance: Minutes of Dec 7, 2022 7:30 PM (Approval of Minutes)