



Meeting of the Village of Buffalo Grove Planning and Zoning Commission

Regular Meeting
March 16, 2022 at 7:30 PM

Fifty Raupp Blvd
Buffalo Grove, IL 60089-2100
Phone: 847-459-2500

I. Call to Order

II. Public Hearings/Items For Consideration

1. Consider a Variation for a Proposed Addition Which Encroaches into Rear Yard Setback at 414 Lamont. (Trustee Johnson) (Staff Contact: Nicole Woods)
2. Consider a Variation for a Roofed Over Front Porch at 556 St Marys Pkwy. (Trustee Pike) (Staff Contact: Nicole Woods)

III. Regular Meeting

A. Other Matters for Discussion

1. Workshop- Proposed Multi-Family Development at 16606 W Highway 22, Prairie View (Fiore Property) (Trustee Johnson) (Staff Contact: Nicole Woods)

B. Approval of Minutes

1. Planning and Zoning Commission - Regular Meeting - Jan 19, 2022 7:30 PM

C. Chairman's Report

D. Committee and Liaison Reports

E. Staff Report/Future Agenda Schedule

F. Public Comments and Questions

IV. Adjournment

The Planning and Zoning Commission will make every effort to accommodate all items on the agenda by 10:30 p.m. The Board, does, however, reserve the right to defer consideration of matters to another meeting should the discussion run past 10:30 p.m.

V. Action Items

The Village of Buffalo Grove, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities, contact the ADA Coordinator at 459-2525 to allow the Village to make reasonable accommodations for those persons.



Action Item : Consider a Variation for a Proposed Addition Which Encroaches into Rear Yard Setback at 414 Lamont.

Recommendation of Action

Staff recommends approval, subject to the conditions in the attached staff report.

The Petitioner is requesting a variation for the purpose of constructing the proposed sunroom addition, which encroaches into the rear yard setback of the subject property.

ATTACHMENTS:

- Staff Report (DOCX)
- Plan Set (PDF)

Trustee Liaison
Johnson

Staff Contact
Nicole Woods, Community Development

Wednesday, March 16, 2022

**VILLAGE OF BUFFALO GROVE
PLANNING & ZONING COMMISSION
STAFF REPORT**

MEETING DATE:	March 16, 2022
SUBJECT PROPERTY LOCATION:	414 Lamont Ter
PETITIONER:	Allen and Sharon Singer
PREPARED BY:	Rati Akash, Village Planner
REQUEST:	A variation for the proposed sunroom addition which encroaches into the rear yard setback of the subject property.
EXSITING LAND USE AND ZONING:	The property is improved with a single-family home currently zoned R5.
COMPREHENSIVE PLAN:	The approved Village Comprehensive Plan calls for this property and the immediate neighborhood to be single-family detached.

PROJECT BACKGROUND

The Petitioner is requesting a variation for the purpose of constructing the proposed sunroom addition which encroaches into the rear yard setback of the subject property. The R5 Zoning Code requires a 35’ rear yard setback, and hence a variation is required to install the sunroom addition.

PLANNING & ZONING ANALYSIS

- The subject property has an existing patio in the rear yard and the sunroom addition will be constructed west of the patio.
- The proposed sunroom addition will be located in the rear yard of the subject property.
- This proposed sunroom addition measures 14’ in length and 12’ in width, with is a total area of 168 square feet.
- This expanded sunroom addition will encroach approx. 5’-5’ into the required 35’ rear yard setback.
- The proposed sunroom addition will be located approximately 29’-7” from the rear property line.

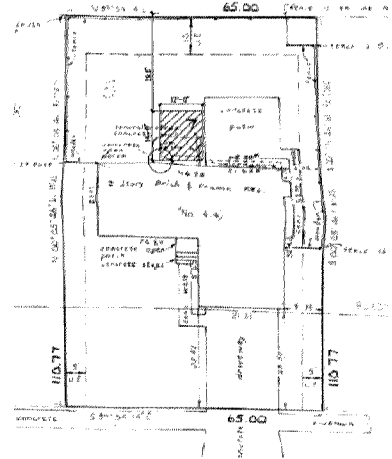


- The Planning and Zoning Commission is allowed to grant sunroom additions which encroach up to 33% into the depth of the required rear yard depth of the setback. In this case, the proposed sunroom rear yard encroachment of 5'-5" constitutes 15% of the required 35' rear yard setback and meets the requirement.

Variations requested

A rear yard variation from Section 17.40.020 from the Buffalo Grove Zoning Code to allow the encroachment of a sunroom addition.

The following is a recently approved setback variations for rear yard setback variations:



Address	Sunroom addition encroachment	Percentage encroachment
1566 Countryside	11'-6"	32%
67 W Fabish	5'-4"	18%
425 Mayfair	13'-4"	33%
860 Holly Stone Lane	10'	33%
958 Parker Lane	5'-6"	17%
2324 Acorn Place	12'	30%

DEPARTMENTAL REVIEWS

Village Department	Comments
Engineering	The Village Engineer has reviewed the proposed sunroom addition, and does not have any engineering concerns with the location of the proposed sunroom.

SURROUNDING PROPERTY OWNERS

Pursuant to Village Code, the contiguous property owners were notified and a public hearing sign was posted on the subject property. The posting of the public hearing sign and the mailed notifications were completed within the prescribed timeframe as required. As of the date of this Staff Report, the Village has received two calls inquiring about the proposed rear yard setback variation, however no objections were expressed.

STANDARDS

The Planning & Zoning Commission is authorized to grant variations of the Zoning Code based on the following criteria:

- The plight of the owner is due to unique circumstances;
- The proposed variation will not alter the essential character of the neighborhood;

3. There are practical difficulties or particular hardships in carrying out the strict letter of this Chapter which difficulties or hardships have not been created by the person presently having an interest in the property; and,
4. The proposed variation will not be detrimental to the public health safety and welfare.

The petitioner has provided a written response to the standards for a variation which are included in this packet.

STAFF RECOMMENDATION

Village staff recommends approval for the purpose of constructing a sunroom addition that would encroach 5'5" into the rear yard setback:

- 1) The proposed sunroom addition shall be installed in accordance with the documents and plans submitted as part of this petition.

ACTION REQUESTED

The Planning & Zoning Commission (PZC) shall open the public hearing and take public testimony concerning the variation. The PZC shall make a final decision on whether or not to approve the variation.

Suggested PZC Motion

PZC moves to grant a variation to Section 17.40 of the Buffalo Grove Zoning Code to allow for a proposed sunroom addition in the rear yard which encroaches 5'-5" into the required rear yard setback on the subject property. The sunroom shall be constructed in accordance with the documents and plans submitted as part of this petition.

2/7/2022

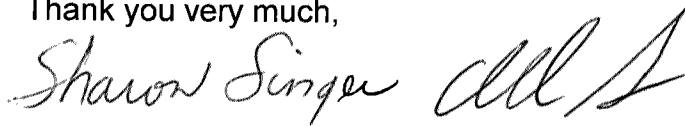
To: Planning and Zoning Commission

This is regarding the variance required for a sunroom/addition at 414 Lamont Terrace in Buffalo Grove.

We have lived at this address for 32 years. Our original family of four has grown to a family of nine. Due to a very small kitchen, it is not possible to have our family over for meals. Our dining room is currently being used for a work-at-home office. We plan to use the addition for an eating area. Adding a sunroom measuring 12x14 would extend the space in our kitchen in order to accommodate our family. Without this extra space, we would have to look to move to a new home, which we would prefer not to do.

We kindly ask that you grant us this variance so that we can enjoy meals with our growing family.

Thank you very much,

A handwritten signature in cursive script, appearing to read "Sharon Singer", followed by a stylized signature that appears to be "Allen".

Sharon and Allen Singer

414 Lamont Terrace, Buffalo Grove, IL 60089

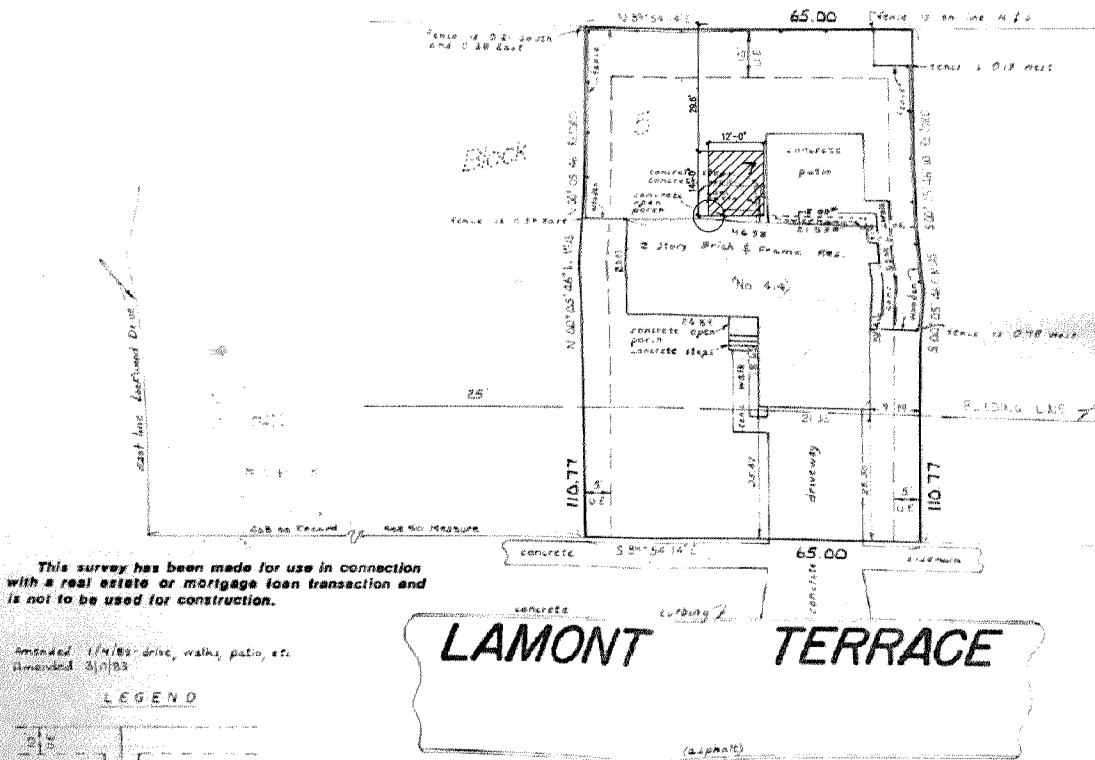
Attachment: Plan Set (Consider a Variation for a Proposed Addition Which Encroaches into Rear Yard Setback at 414 Lamont.)

PLAT OF SURVEY

THE NORTHERN COUNTIES GROUP, INC.

SURVEYORS
528 WEST STREET
LIBERTYVILLE, ILLINOIS 60048
(312) 367-4560

Lot 7 in Block 5 in SUFFIELD PLACE, being a subdivision in the East 1/2 of Section 29, Township 43 North, Range 11, East of the Third Principal Meridian according to the plat thereof recorded as Document Number 1976742 in Lake County, Illinois.



This survey has been made for use in connection with a real estate or mortgage loan transaction and is not to be used for construction.

Amended 1/4/82 - drive, walks, pain, etc.
Amended 3/7/83

LEGEND



REQUIREMENTS FOR UNDERGROUND
ELECTRIC UTILITIES, SEWER, WATER
AND DRAINAGE DIMENSIONAL SHOWING
AND EIGHT FEET WIDE

* கனகசபை கூலிதீர்ப்பு யிதரவகாசிகள்
கனகசபைக்கு 10 அங்கம் - 100
கனகசபை கூலிதீர்ப்பு யிதரவகாசிகள் கனக
அதி கூலிதீர்ப்பு கூலி கனகசபை கூலி
கனகசபை

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

TO
WE, THE NORTHERN COUNTIES GROUP INC., DO HEREBY
CERTIFY THAT WE HAVE SURVEYED THE ABOVE DESCRIBED
PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT
REPRESENTATION OF SAID SURVEY, AND IS SUBJECT TO A CURRENT
REVIEW OF TITLE POLICY FOR EXTENSION.
WITNESSES 4 83
LIBERTYVILLE, ILLINOIS

SCALE: 1 INCH EQUALS 20 FEET
DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF
NO ASSUMPTION TO BE MADE BY SCALE MEASUREMENT

ORDERED BY Ralla Klapa

ORDER NO. 82234 - U

DRAWN BY: **K.F.**

CHECKED BY: *af*

REFER TO ABSTRACT DEED AND LOCAL ORDINANCES FOR BUILDING
COMPARE ALL POINTS BEFORE BUILDING BY SAME AND IMMEDIATE
ANY DISCREPANCIES

This plat is not certified
unless an impressed seal
is affixed hereon

DATED THIS 17th DAY OF November A.D. 1902

Larry Faith

ILLINOIS REGISTERED LAND SURVEYOR NO. 35-2637

ILLINOIS REGISTERED LAND SURVEYOR NO. 35-2637

Response to Standards

1. The plight of the owner is due to unique circumstances;

Your Evidentiary Statement:

We have lived at this address for 32 years. Our original family of four has grown to a family of nine. Due to a very small kitchen, it is not possible to have our family over for meals. Our dining room is currently being used for a work-at-home office. We plan to use the addition for an eating area. Adding a sunroom measuring 12x14 would extend the space in our kitchen in order to accommodate our family. Without this extra space, we would have to look to move to a new home, which we would prefer not to do.

2. The proposed variation will not alter the essential character of the neighborhood;

Your Evidentiary Statement: No

3. There are practical difficulties or particular hardships in carrying out the strict letter of this Chapter which difficulties or hardships have not been created by the person presently having an interest in the property; and,

Your Evidentiary Statement:

We have lived at this address for 32 years. Our original family of four has grown to a family of nine. Due to a very small kitchen, it is not possible to have our family over for meals. Our dining room is currently being used for a work-at-home office. We plan to use the addition for an eating area. Adding a sunroom measuring 12x14 would extend the space in our kitchen in order to accommodate our family. Without this extra space, we would have to look to move to a new home, which we would prefer not to do.

4. The proposed variation will not be detrimental to the public health safety and welfare.

Your Evidentiary Statement: No



Attachment: Plan Set (Consider a Variation for a Proposed Addition Which Encroaches into Rear Yard Setback at 414 Lamont.)

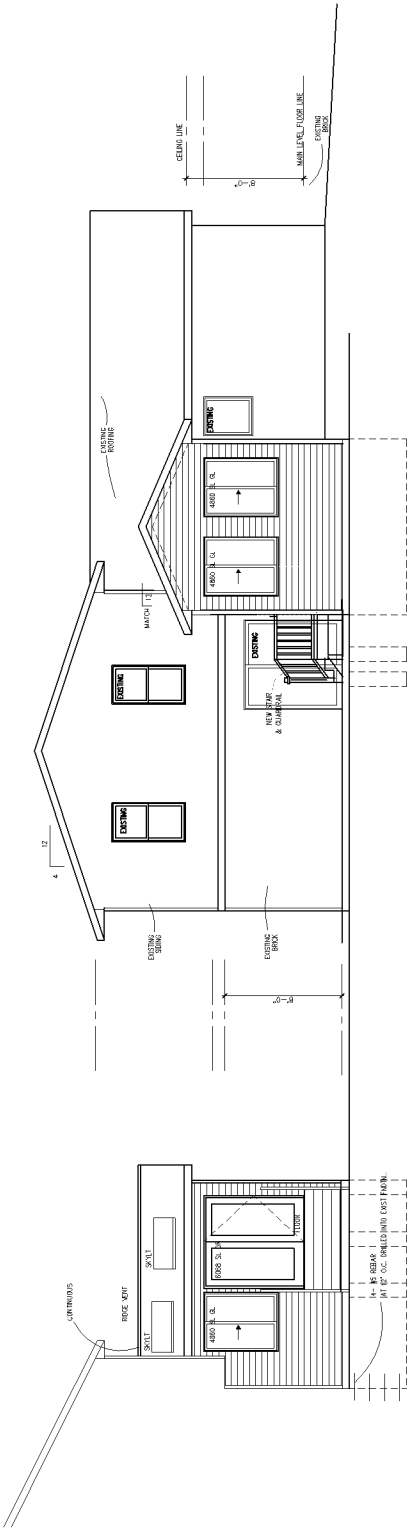


JAKL BRANDeis ARCHITECTS LTD.
1800 HAWTHORNE LANE
WEST CHICAGO, ILLINOIS 60185
PH. (630) 562-3900 FAX (630) 562-2570

DATE	ISSUE
10-07-21	FOR PERMIT
11-24-21	CODE REVISION
01-18-22	OWNER REVISION-2
	REVISION-4

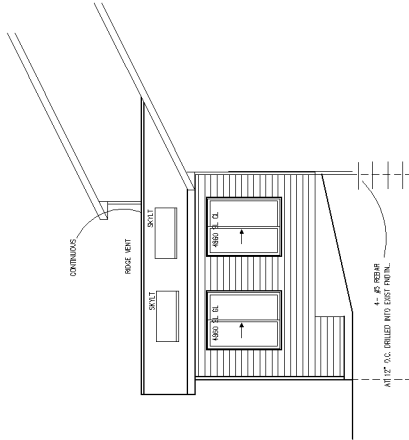
SUN PORCH ADDITION
414 LAMONT TR
BUFFALO GROVE, ILLINOIS

Sheet No.
A-3
3 of 4



REAR ELEVATION
SCALE: 1/4"=1'-0"

RIGHT ELEVATION
SCALE: 1/4"=1'-0"



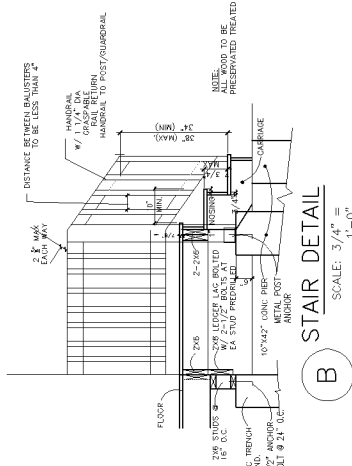
LEFT ELEVATION
SCALE: 1/4"=1'-0"

ISSUE	FOR PERMIT	CODE REVISION	CODE REVISION-2	OWNER REVISION	REVISION-4
DATE	10-07-21	11-24-21	01-18-22		

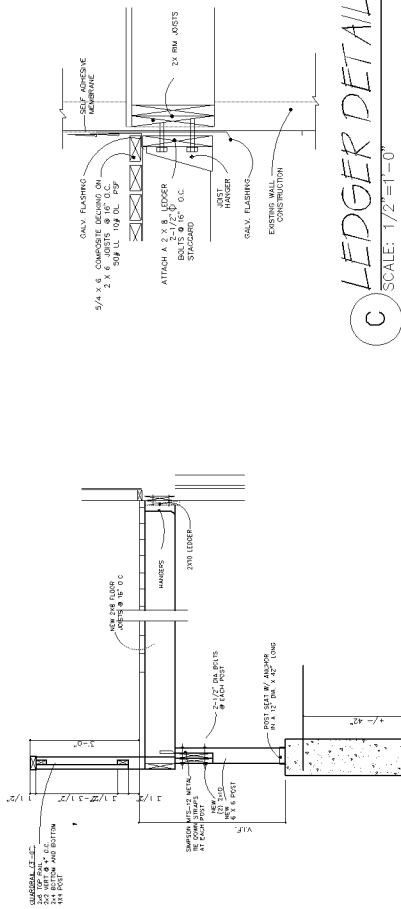
SUN PORCH ADDITION
414 LAMONT TR
BUFFALO GROVE, ILLINOIS

Sheet No. A-4 4 of 4

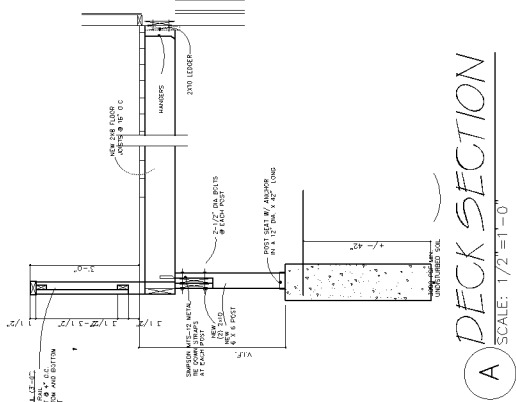
JAKL BRANDEIS ARCHITECTS LTD.
1800 HAWTHORNE LANE
WEST CHICAGO, ILLINOIS 60618
FAX (630) 562-3900
PH. (630) 562-2570



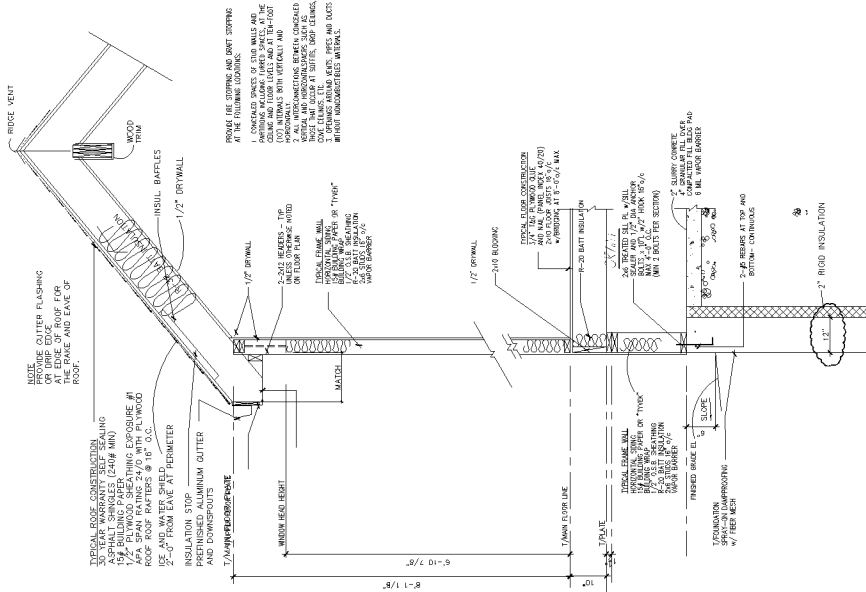
B STAIR DETAIL
SCALE: 3/4" = 1'-0"



C LEDGER DETAIL
SCALE: 1/2" = 1'-0"



DECK SECTION
A SCALE: 1/2" = 1'-0"



⑦ WALL SECTION



EXP 11-30-22
DATE 09-24-21



Action Item : Consider a Variation for a Roofed Over Front Porch at 556 St Marys Pkwy.

Recommendation of Action

Staff recommends approval, subject to the conditions in the attached staff report.

The Petitioner, who resides at setback 556 St Marys Pkwy, is proposing to make improvements to their home. These improvements include a roofed over front porch which requires a variation for encroaching into the front yard setback.

ATTACHMENTS:

- Staff Report (DOCX)
- Plan Set (PDF)

Trustee Liaison
Pike

Staff Contact
Nicole Woods, Community Development

Wednesday, March 16, 2022

**VILLAGE OF BUFFALO GROVE
PLANNING & ZONING COMMISSION
STAFF REPORT**

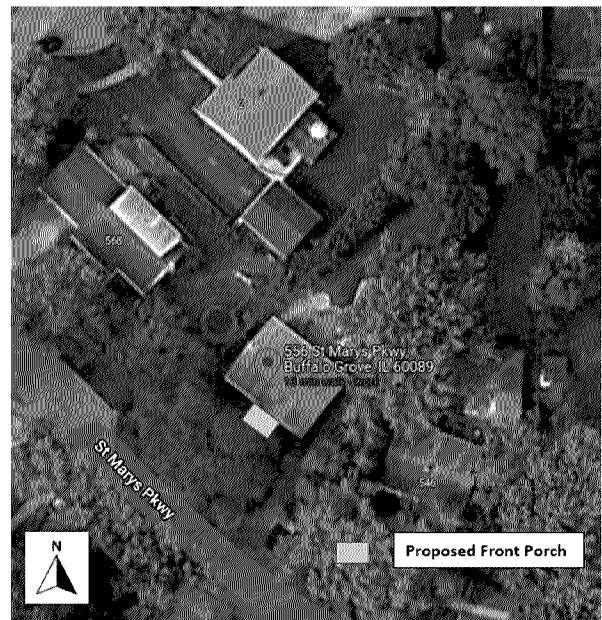
MEETING DATE:	March 16, 2022
SUBJECT PROPERTY LOCATION:	556 St Marys Pkwy
PETITIONER:	Igor Romanowski
PREPARED BY:	Rati Akash, Village Planner
REQUEST:	A variation for a for the purpose of constructing a roofed over porch that would encroach into the front yard setback.
EXSITING LAND USE AND ZONING:	The property is improved with a single-family home currently zoned R5A.
COMPREHENSIVE PLAN:	The approved Village Comprehensive Plan calls for this property and the immediate neighborhood to be single-family detached.

PROJECT BACKGROUND

The Petitioner is proposing to make façade improvements to their home, which includes expanding the front porch and extending the roof over the front porch. A roofed over porch which encroaches into the front yard setback requires a variance.

PLANNING & ZONING ANALYSIS

- The existing home entrance has a small stoop leading up to the front door. Open porches can encroach up to 15 feet into the front yard as outlined in the Zoning Code.
- The proposed expanded roofed over porch measures 10 feet in width and 4.50 feet in length, with an approximate total area of 45 square feet. This roofed over porch will encroach 3’8” or 3.66’ (21.34’ from lot line) into the front yard setback of 25 feet.
- A variance is required as the Petitioner is proposing to put a roof over the expanded porch. A roofed over porch which encroaches into the front yard setback requires a variance.
- The Planning and Zoning Commission has typically granted roofed over porches which encroach 33% into



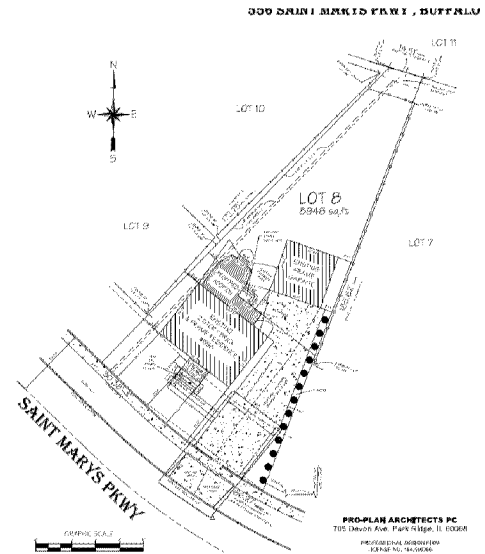
Attachment: Staff Report (Consider a Variation for a Roofed Over Porch at 556 St Marys Pkwy.)

the front yard setback. In this case, the proposed roofed over porch front yard encroachment of 3'8" constitutes 14.6% of the required 25 feet front yard setback.

Variations requested

A front yard variation from Section 17.40.020 from the Buffalo Grove Zoning Code to allow the encroachment of a roofed over porch.

The following is a recently approved setback variations for corner side yard fences:



Address	Roofed over porch encroachment	Percentage encroachment
950 Betty Drive	4 feet	13.3%
409 Gregg Ln	6'-6" feet	26%

DEPARTMENTAL REVIEWS

Village Department	Comments
Engineering	The Village Engineer has reviewed the proposed porch location and does not have any engineering or line of sight concerns or objections with the proposed location of this porch.

SURROUNDING PROPERTY OWNERS

Pursuant to Village Code, the contiguous property owners were notified and a public hearing sign was posted on the subject property. The posting of the public hearing sign and the mailed notifications were completed within the prescribed timeframe as required. As of the date of this Staff Report, the Village has received one call inquiring about the front yard variation request, however no objections were expressed.

STANDARDS

The Planning & Zoning Commission is authorized to grant variations of the Zoning Code based on the following criteria:

1. The plight of the owner is due to unique circumstances;
2. The proposed variation will not alter the essential character of the neighborhood;
3. There are practical difficulties or particular hardships in carrying out the strict letter of this Chapter which difficulties or hardships have not been created by the person presently having an interest in the property; and,
4. The proposed variation will not be detrimental to the public health safety and welfare.

The petitioner has provided a written response to the standards for a variation which are included in this packet.

STAFF RECOMMENDATION

Village staff recommends approval for the purpose of constructing an expanded roofed over porch that would encroach 3'8" into the front yard setback:

- 1) The proposed expanded roofed over porch shall be installed in accordance with the documents and plans submitted as part of this petition.

ACTION REQUESTED

The Planning & Zoning Commission (PZC) shall open the public hearing and take public testimony concerning the variation. The PZC shall make a final decision on whether or not to approve the variation.

Suggested PZC Motion

PZC moves to grant a variation to Section 17.40 of the Buffalo Grove Zoning Code to allow for a proposed front porch in the front yard setback which encroaches 3'8" into the required front yard setback on the subject property. The front porch shall be constructed in accordance with the documents and plans submitted as part of this petition.

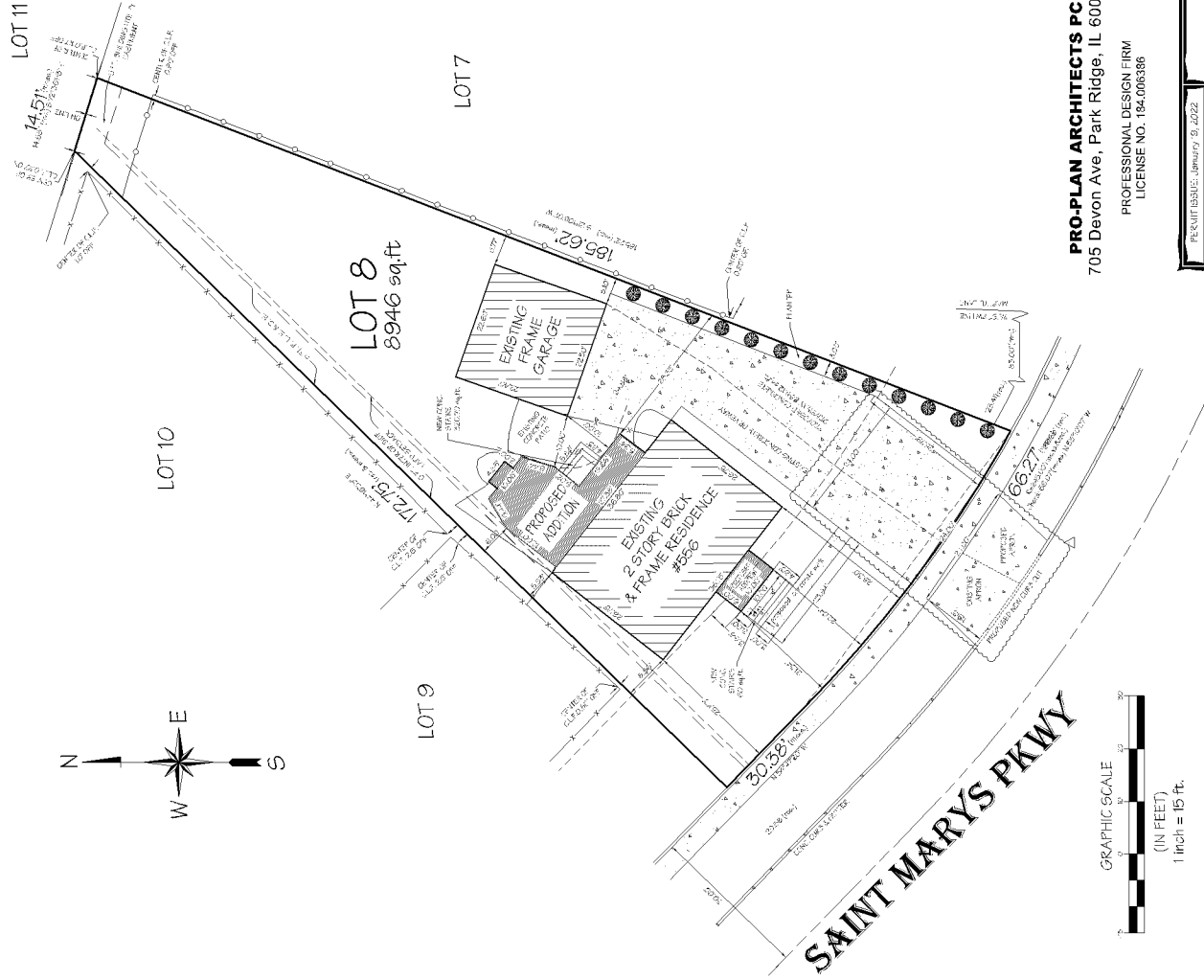
Good Afternoon,

We are asking for approval of the proposed variation. As the roof vestibule extends approximately 4.5' into the front yard setback we are unable to construct the vestibule. Currently our home has really poor access. As you enter the home, right away you are in a narrow staircase leading to the living room and kitchen. The vestibule construction is necessary for us as in the winter time we have nowhere to hang our winter coats, or nowhere to put our shoes. The current cemented staircase outside of the front door is very uneven and gets very slippery during the winter. I have a grandmother that uses a walker, and the current front yard entrance makes it very difficult for her to access the house. The hardship we are facing is that the vestibule extends 4.5' into the front yard. With this variance approval my family would have a lot easier access to go in and out of the house. The variance would not alter the look of the neighborhood but will beautify and give it a more friendly look.

Thank You,
Igor Romanowski

Attachment: Plan Set (Consider a Variation for a Roofed Over Porch at 556 St Marys Pkwy.)

FRONT ENTRANCE AND REAR ONE STORY ADDITION, NEW APRON AND CONCRETE DRIVEWAY 556 SAINT MARYS PKWY, BUFFALO GROVE IL 60089



ZONING DATA			
LOT AREA	18946 sq.ft		
ZONE DISTRICT	R-2A Single Family	Required	Proposed
Min. Front setback	25.00'	21.94'	21.94'
Min. Side setback	5.00'	5.00'	5.00'
Min. Rear setback			
Basement	923.61	0.00	923.61
First Floor	923.61	396.57	1320.18
Footprint of principal building	923.61	396.57	1320.18
Detached Garage	525.12	0.00	525.12

INDEX OF DRAWINGS	
NO	SHEET TITLE
A-0	SITE PLAN & INDEX OF DRAWINGS
A-1	PROPOSED FOUNDATION PLAN & FIRST FLOOR DEMOLITION PLAN
A-2	PROPOSED ROOF PLAN & PROPOSED FIRST FLOOR PLAN
A-3	CROSS SECTIONS WITH NOTES
A-4	PROPOSED SOUTHWEST & SOUTHEAST ELEVATIONS
A-5	PROPOSED NORTHEAST & NORTHWEST ELEVATIONS
A-6	WINDOWS SCHEDULE & NOTES
E-1	PROPOSED ELECTRICAL FIRST FLOOR PLAN
E-2	ELECTRICAL CALCULATIONS
M-1	PROPOSED 1ST FLOOR MECHANICAL PLAN

2018 IRC, Table R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (in pounds per square foot)	
USE	LIVE LOAD
Uninhabitable Attics without storage	10
Uninhabitable Attics with limited storage	20
Habitable attics and attics served with fixed stairs	30
Balconies (exterior) and decks	40
Fire escapes	40
Guards and handrails	200
Guards in-fill components	50
Passenger vehicle garages	50
Rooms other than sleeping room	40
Sleeping rooms	30
Stairs	40

THE VILLAGE OF BUFFALO GROVE BUILDING CODES INCLUDE THE FOLLOWING:
THESE CODES SHALL BE ENFORCED STARTING MARCH 1, 2019

- 2018 INTERNATIONAL RESIDENTIAL CODE, AS AMENDED
- 2017 NATIONAL ELECTRIC CODE, AS AMENDED
- 2018 INTERNATIONAL EXISTING BUILDING CODE, AS AMENDED
- ICC PERFORMANCE CODE FOR EXISTING BUILDINGS AND FACILITIES
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AS AMENDED
- 2014 ILLINOIS STATE PLUMBING CODE, AS AMENDED
- BUFFALO GROVE MUNICIPAL CODE (TITLE 15) - BUILDINGS AND CONSTRUCTION
- BUFFALO GROVE MUNICIPAL CODE (TITLE 17) - ZONING ORDINANCE

AMENDMENTS TO THE CODES LISTED ABOVE ARE CONTAINED IN TITLE 15 OF BUFFALO GROVE MUNICIPAL CODE

- NOTE:**
- Existing drainage pattern shall be maintained.
 - No grade changes allowed within 5 feet of the property line.
 - Roof drains and sump pump discharges may not extend more than 10' from the structure.
 - Driveway and apron cross sections shall meet Village code.
 - Curb construction shall comply with Village Exhibit No. 501.
 - Pavement damaged during construction is the responsibility of the homeowner/contractor to repair.
 - Driveway must meet existing grade.
 - Wire mesh or mesh reinforcement not allowed in the driveway apron.

A separate permit for driveway is required

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, COMPLY WITH THE ORDINANCES AND CODES OF THE VILLAGE OF BUFFALO GROVE, AND THE STATE OF ILLINOIS.

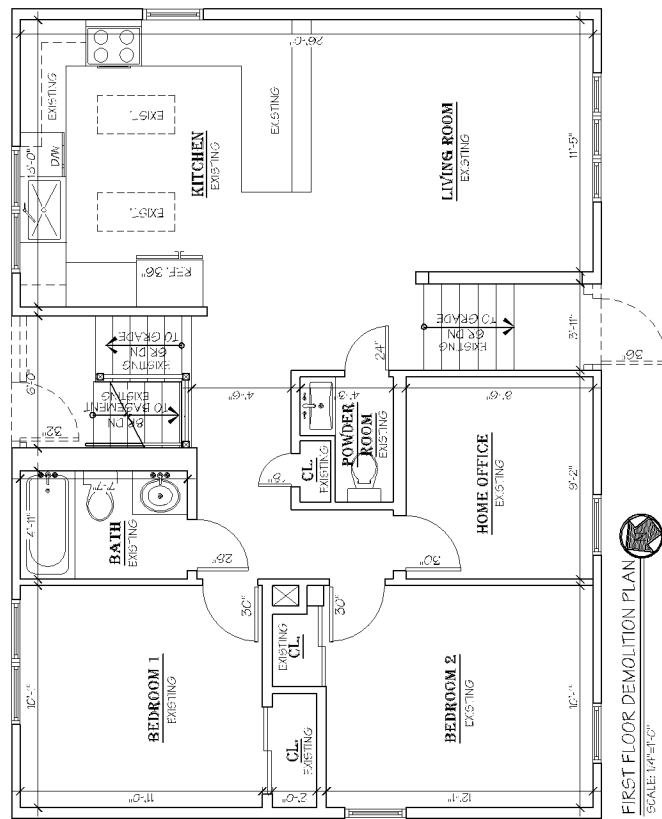
Krzysztof Adamczyk February 2, 2022
ANDRZEJ KACPRZYNSKI REGISTERED ARCHITECT # 001-021666
NOVEMBER 30, 2022
LICENSE EXP.

PRO-PLAN ARCHITECTS PC
705 Devon Ave, Park Ridge, IL 60068
PROFESSIONAL DESIGN FIRM
LICENSE NO. 194.006386



PERMIT DATE: January 2, 2022	SHEET TITLE: SITE PLAN & INDEX OF DRAWINGS	DRAWN BY: JOHN KACPRZYNSKI 770-577-5501	DATE: February 2, 2022	SHEET NO. A-0
MAP: 1	ONE STORY ADDITION 556 Saint Marys Pkwy, Buffalo Grove, IL 60089	PROJECT NO. 194.006386		

Packet Pg. 20



DETAIL OF FOUNDATION WALL - TYPICAL

SCALE: 1/2"=1'-0"

FIRST FLOOR DEMOLITION PLAN

GRAPHIC SCALE

(IN FEET) 1/4"=1'-0"



DATE	PERMIT ISSUE: January '09, 2022
February 2, 2022	

ONE STORY ADDITION
566 Saint Marys Pkwy.

ER OF THE
PROPOSED FOUNDATION
PLAN & FIRST FLOOR

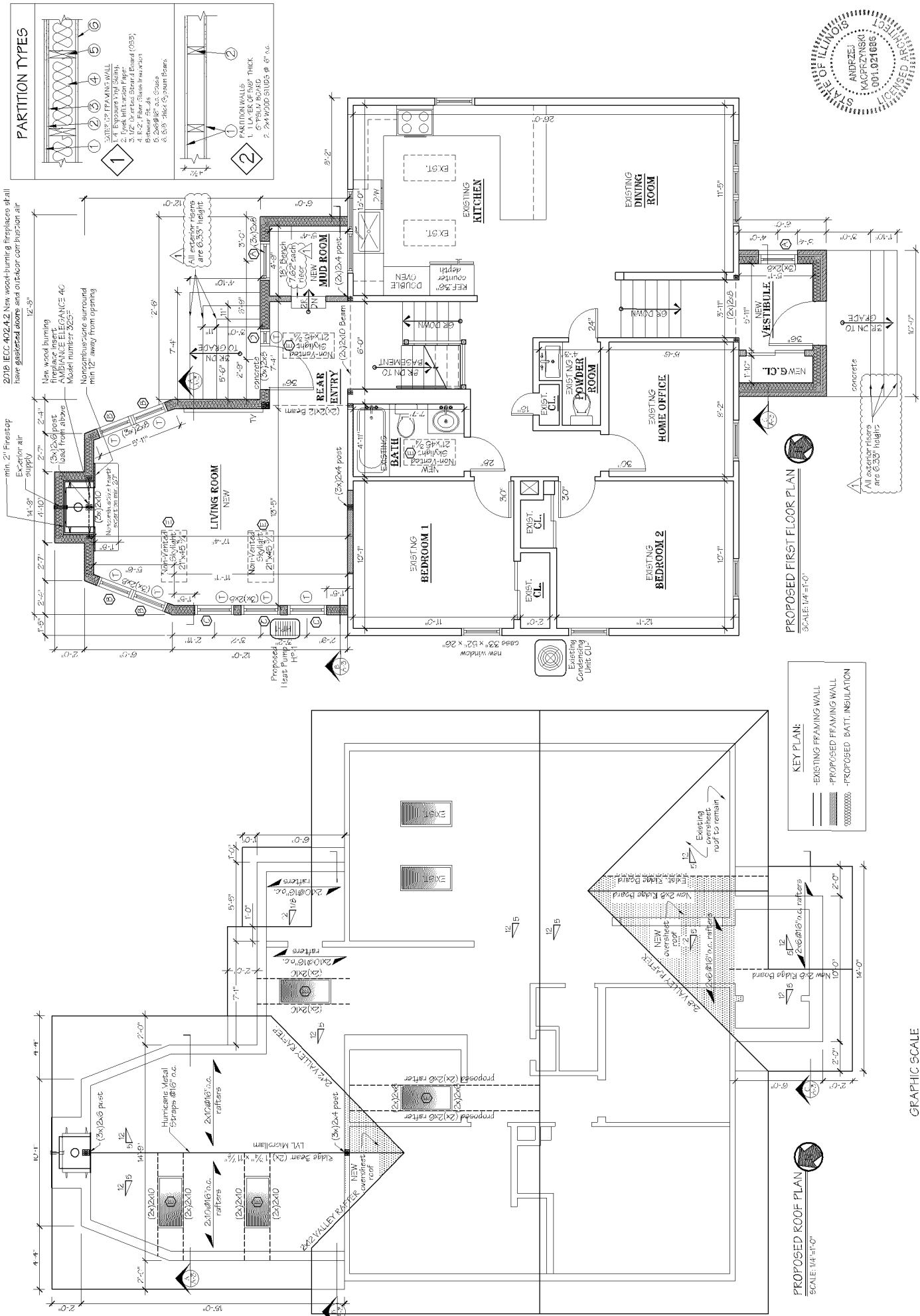


DRAWN BY: PHOTO NAKLICK
776-577-6504

DATE: February 2, 1964

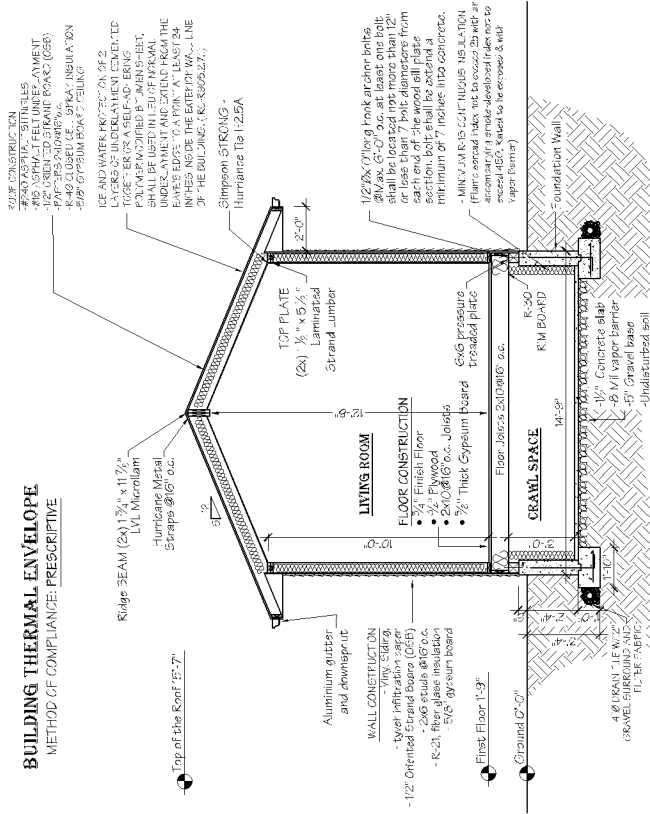
Packet Pg. 21

Packet Pg. 21



**BUILDING THERMAL ENVELOPE
METHOD OF COMPLIANCE: PRESCRIPTIVE**

METHODOLOGY OF COMPLIANCE: PRESCRIPTIVE



PROPOSED CROSS SECTION A

SCALE: 1/4"=1'-0"

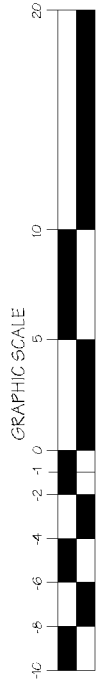
GENERAL NOTES

7. SEE WALL SECTIONS FOR ADDITIONAL NOTES.
8. ALL MWF FLOOR REINFORCING MESH SHALL BE ASTM A618 MESH SIZE 6 X 6 W/4".
9. ALL DRAIN TILE TO BE "4" PERFORATED PLASTIC M/FRAIN TILE TO BE "12" M/L WASHED RIVER ROCK SURROUND TO SLUMP. RIVER ROCK TO BE 3/4" MIN. DIA. WASHED RIVER ROCK (NO CRUSHED OR FINE GRAVEL).
10. ALL CEMENTS, E-1 WALLS TO BE 4" INCH CONCRETE WITH A SECOND SMOOTH FINISH OVER 4" INCH WALL. COMPLETED FLOOR PROVIDE 3/4" COT. JANTS AS REQ. UNLESS OTHERWISE NOTED.
11. PROVIDE VULSKEN BRAND CAULKING OR APPROVED EQUAL AT ALL JOINTS. JOINTS BETWEEN NEW AND EXISTING CONCR. ON INTERIOR BELOW GRADE SPACES IF APPLICABLE.
12. 2-4" KEY EACH SIDE OF EACH WALL SECTION.

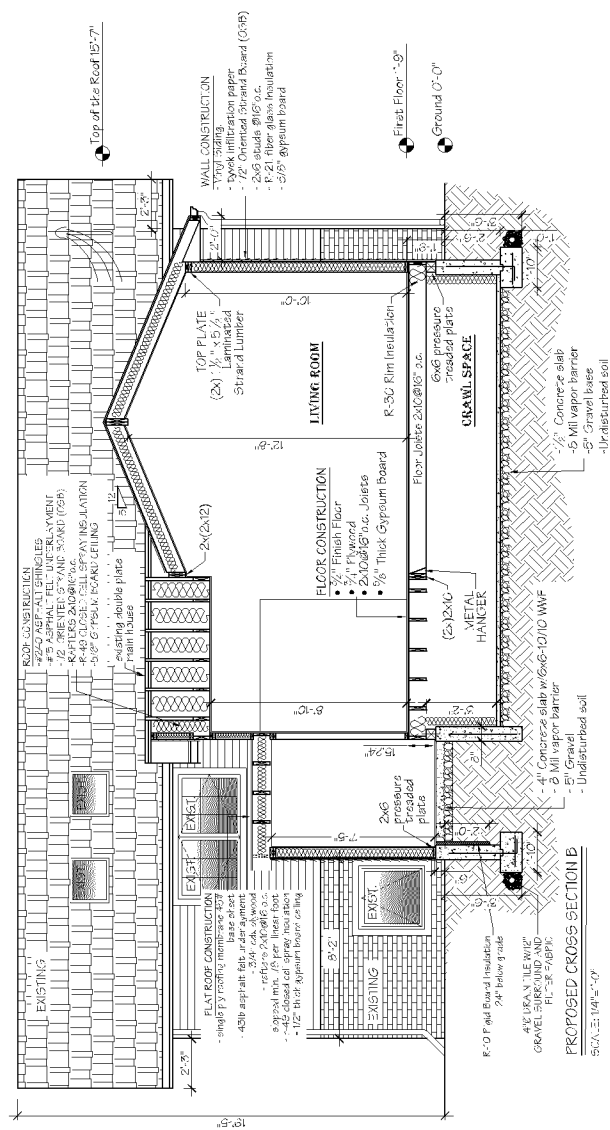
Notes:

1) Cuts, notches and holes bored in trusses, laminated veneer lumber, glue-laminated members or joists are not permitted unless the effects of such are specifically addressed by a registered design professional. (Section;

- 2) Exterior or load bearing walls with plates cut, drilled, or notched more than 50% of the width of the stud shall have a galvanized metal tie 1/8" gage and 1 1/2 inches (1 1/2") wide fastened to each plate.
- 3) Exterior or load bearing walls with studs drilled within 5/8" of the face of the stud shall be reinforced with a structural stud shoe.

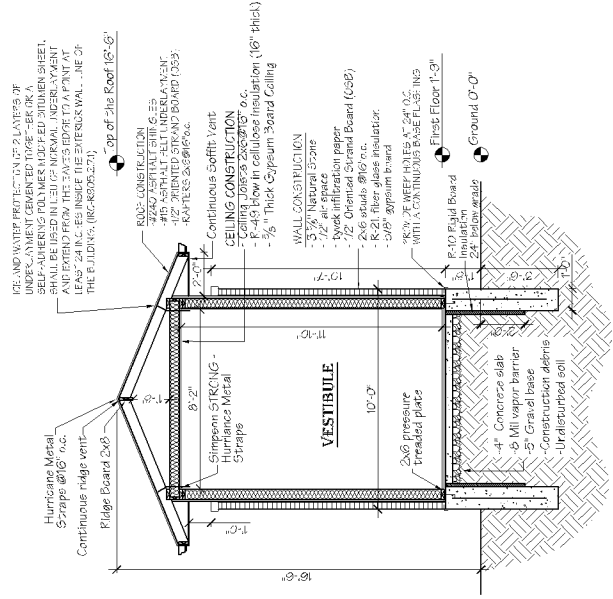


(IN FEET) 1/4"=1'-0"



PROPOSED CROSS SECTION B

PROPOSED C



PROPOSED CROSS SECTION C

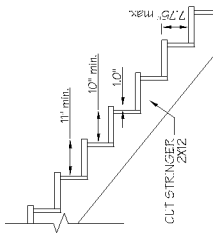
SCALE: 1/4"=1'-0"

NEW STAIRS:
THE MAX HEIGHT OF PISER SHALL BE 7'7 1/2" AND THE MIN WIDTH OF A "READ FROM NOBING TO NOBING SHALL BE 10". ALL STEPS MUST BE CONSISTENT HEIGHT AND DEPTH OF THE STAIRS CANNOT DIFFER MORE THAN 3/8" THROUGHOUT THE STAIRCASE.
LANDINGS SHALL BE A MINIMUM OF 3'0"x3'0" (SEE FLOOR PLAN).
RAILINGS - SPINDLE SPACING NO GREATER THAN 4"

HANDRAIPS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO POINT DIRECTLY ABOVE LOWEST RISER OF THE FLIGHT.

HANDRAIL ENDS SHALL BE RETURNED OR SAFELY TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAILS. HANDRAIL ENDS MUST CURVE INTO WALL. HANDRAIL GRIP SHALL BE NO GREATER THAN 1 1/2".

NO WINDERS IN THIS PROJECT. SEE FLOOR PLAN.



Notes:

1) Cuts, notches and holes bored in trusses, laminated veneer lumber, glue-laminated members or I-joists are not permitted unless the effects of such are specifically addressed by a registered design professional. (Section:

- 2) Exterior or load bearing walls with plates cut, drilled, or notched more than 50% of the width of the stud shall have a galvanized metal tie 1/8" gage and 1 1/2 inches (1 1/2") wide fastened to each plate.
- 3) Exterior or load bearing walls with studs drilled within 5/8" of the face of the stud shall be reinforced with a structural stud shoe.



PERMIT ISSUE: January 9, 2022	DATE	ONE STORY ADDITION
1	February 2, 2022	566 Saint Marys Pkwy, Rutledge, Georgia 31606

CROSS SECTIONS
WITH NOTES



PERVIT KO

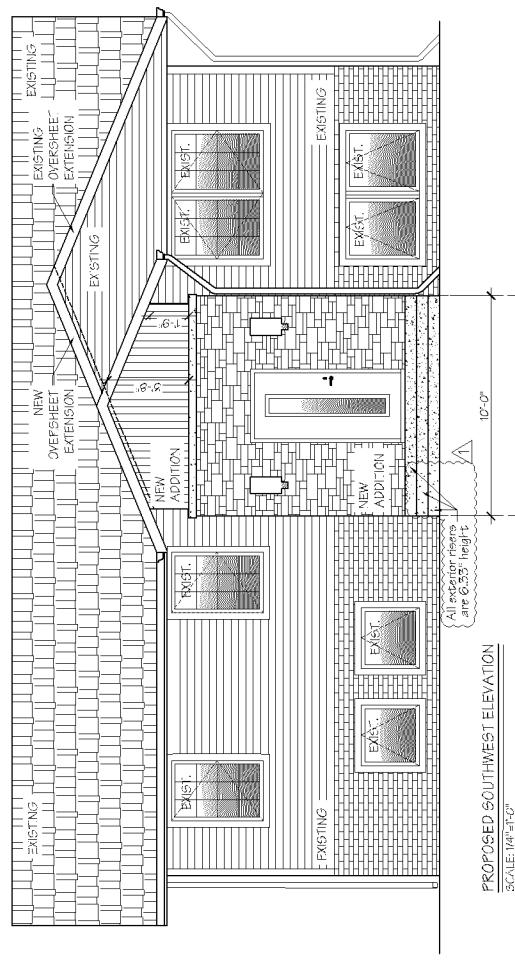
DATE:

A-3

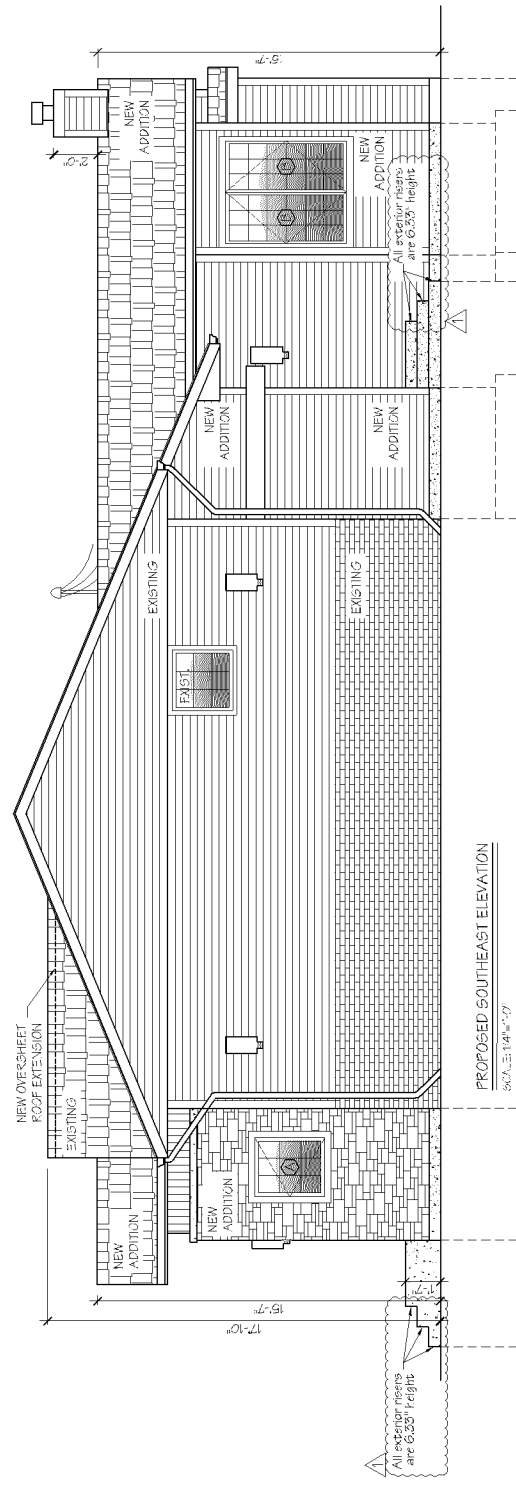
JCTR NO.: 71-051
 Packet Pg. 23



PERMIT ISSUE: January 9, 2022	SHEET TITLE: ONE STORY ADDITION 566 Saint Marys Pkwy, Buffalo Grove, IL 60089	SHEET NO. 21501
DATE: February 2, 2022	PROPOSED SOUTHWEST & SOUTHEAST ELEVATIONS	DATE: February 2, 2022
PROJECT NO. 21501	PROJECT NAME: 566 Saint Marys Pkwy, Buffalo Grove, IL 60089	PROJECT NO. 21501
OWNER: 566 Saint Marys Pkwy, Buffalo Grove, IL 60089	OWNER: 566 Saint Marys Pkwy, Buffalo Grove, IL 60089	OWNER: 566 Saint Marys Pkwy, Buffalo Grove, IL 60089
ARCHITECT: ANDRZEJ KACPRZYŃSKI, P.E., ARCHITECT, 770 S. Dearborn Ave., Suite 100, Buffalo Grove, IL 60089	ARCHITECT: ANDRZEJ KACPRZYŃSKI, P.E., ARCHITECT, 770 S. Dearborn Ave., Suite 100, Buffalo Grove, IL 60089	ARCHITECT: ANDRZEJ KACPRZYŃSKI, P.E., ARCHITECT, 770 S. Dearborn Ave., Suite 100, Buffalo Grove, IL 60089

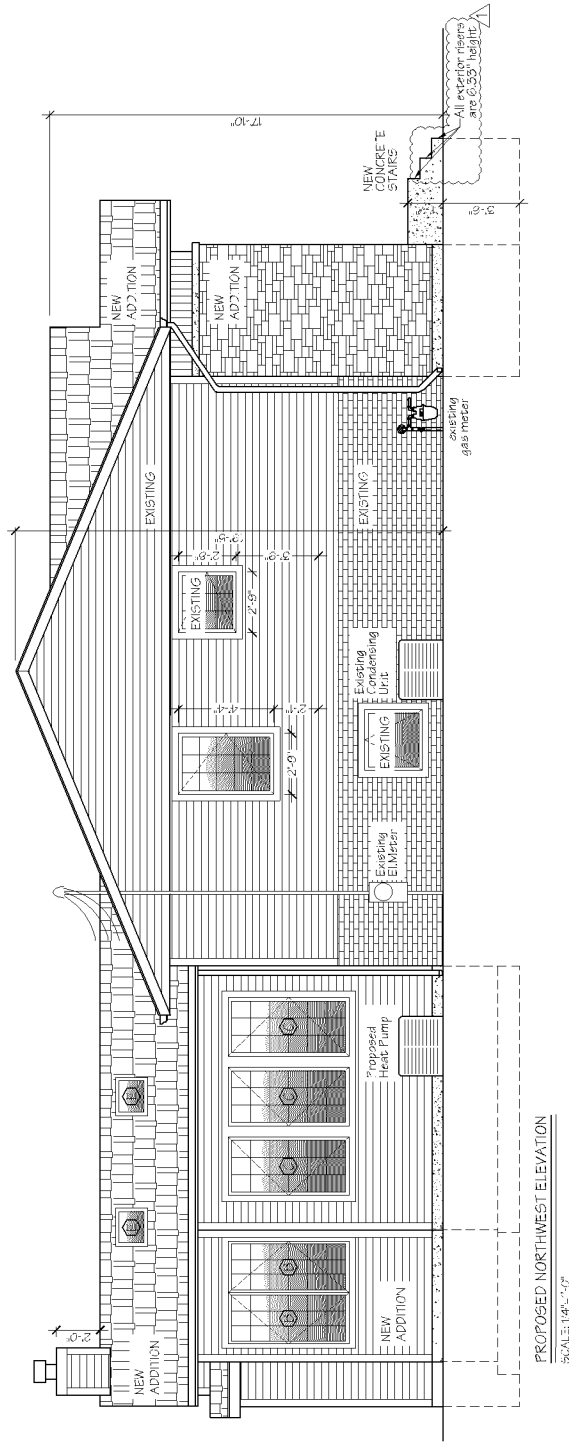
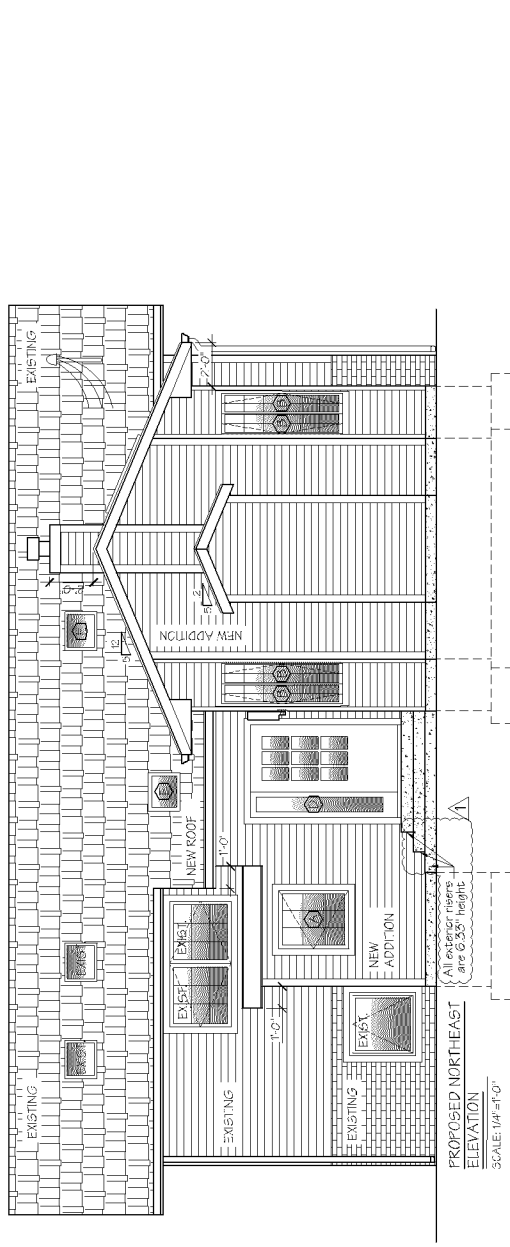


PROPOSED SOUTHWEST ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED SOUTHEAST ELEVATION
SCALE: 1/4"=1'-0"





SHEET NO.: DRAWN BY: 7010 KACJEC 775-773-6204 E-mail: 7010@KACJECINC.COM 775-773-6204 Tel/fax 773-733-2675	PERMIT NO.:
SHEET TITLE: PROPOSED NORTHEAST & NORTHWEST ELEVATIONS	ONE STORY ADDITION 566 Saint Marys Pkwy, Buffalo Grove, IL 60089
DATE: February 2, 2022	PERMIT ISSUE: January 9, 2022
SCALE: 	DATE: February 2, 2022

DATE: February 2, 2022
SHEET NO. A-4
OFFICE NO. 21-00
Packet Pg

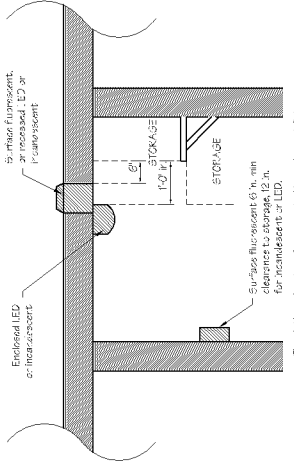
Packet Pg. 25



PERMIT DATE: January 29, 2022
DATE: February 2, 2022
PROJECT NO.:
DRAWN BY: JOHN KACPRZYNSKI 772-577-6504
CHECKED BY: ANDRZEJ KACPRZYNSKI 772-577-6504
PROJECT TITLE: PROPOSED ELECTRICAL FIRST FLOOR PLAN
ONE STORY ADDITION 566 Saint Marys Pkwy, Buffalo Grove, IL 60089
SHEET NO.: 21-501
Packet Pg. 27

- OF ALL MECHANICAL ROOMS, NOT LESS THAN ONE APPROVED CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN EACH RESIDENTIAL UNIT.
- THE CO DETECTOR SHALL BE INSTALLED WITHIN 40 FEET OF ALL BEDROOMS.
- Interconnected and hardwired with a battery backup.
- Wireless interconnection is allowed provided it still works when internet is out (The system is set up with the internet, and then uses a radio frequency).
- CARBON MONOXIDE DETECTORS SHALL BE INSTALLED ON THE CEILING
- SMOKE AND CARBON MONOXIDE DETECTORS NOTES:
- SMOKE DETECTOR SHALL BE INSTALLED ON THE CEILING WITHIN 15' OF ALL BEDROOMS, WITH NOT LESS THAN ONE DETECTOR PER LEVEL CONTAINING A HABITABLE ROOM OR UNENCLAGED HEATING PLANT.
- SD INSIDE EVERY SLEEPING ROOM.
- INTERIOR SMOKE DETECTORS SHALL CONTAIN NOT LESS THAN ONE APPROVED SMOKE DETECTOR AT THE UPPER MOST CEILING.
- CARBON MONOXIDE DETECTORS SHALL BE INSTALLED ON THE CEILING

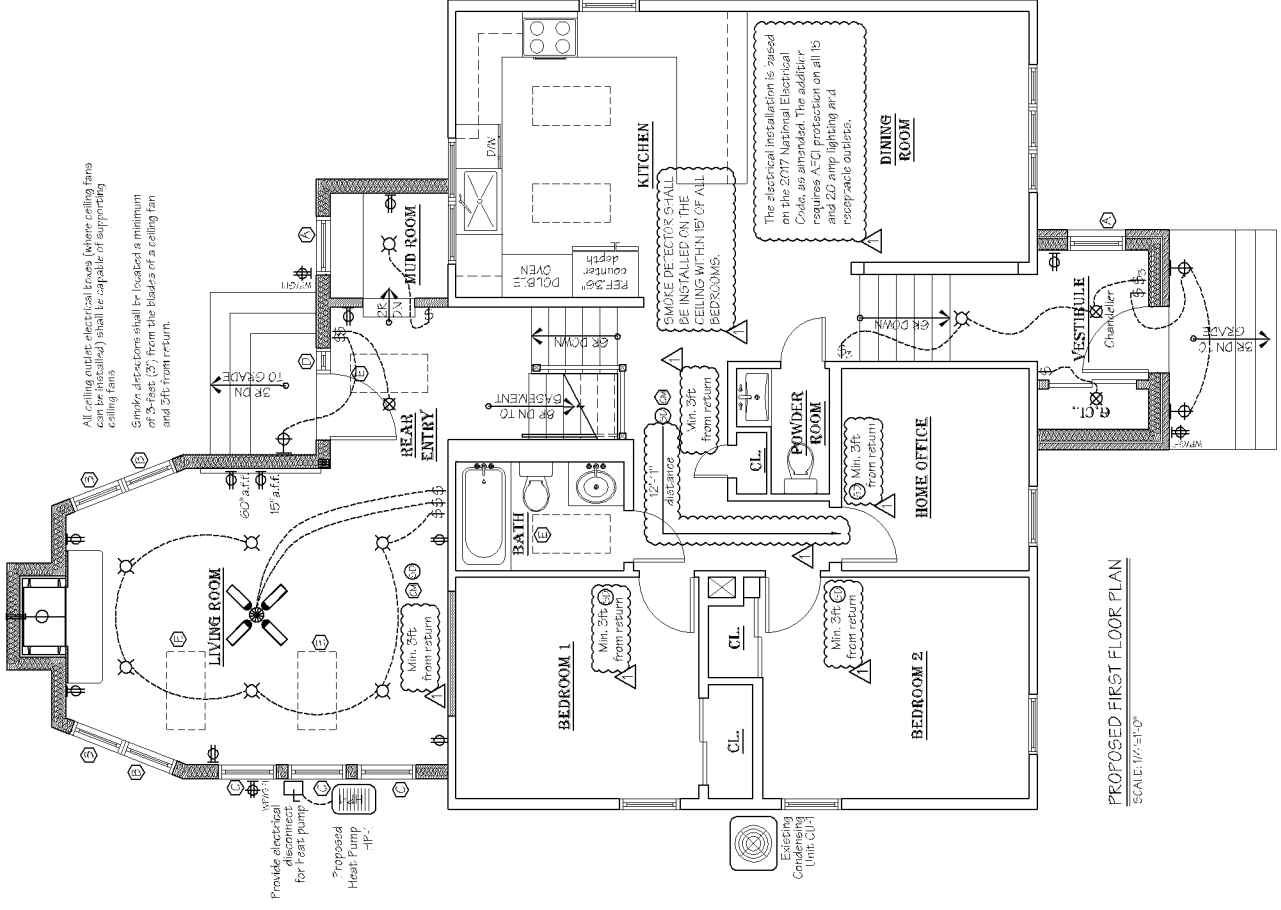
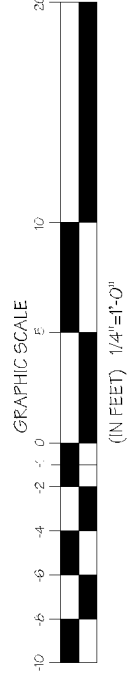
ELECTRICAL SYMBOL LIST	
	- RECESSED CAN LIGHT IF CONTACT WITH INSULATION LIGHT MUST BE TCRATED PER 2012 IECC
	- STANDARD LIGHT
	- GROUND FAULT INTERRUPTER
	- WATER PROOF BOX
	- CEILING MOUNTED FAN WITH "GFI"
	- SMOKE DETECTOR
	- CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP
	- SINGLE POLE WALL SWITCH
	- THREE WAYS WALL SWITCH
	- DUPLEX CONVENIENCE OUTLET
	- LIGHT WALL MOUNTED
	- SMOKE DETECTOR IN SERIES
	- CARBON MONOXIDE DETECTOR IN SERIES
	- CARBON MONOXIDE DETECTOR IN SERIES WITH BATTERY BACKUP



The closet light clearance detail is shown for recessed LED or surface fluorescent. The closet light clearance detail is shown for recessed LED or surface fluorescent. The closet light clearance detail is shown for recessed LED or surface fluorescent.

1 CLOSET LIGHT CLEARANCES DETAIL SCALE 1/2"=1'-0"

2019 IECC R404.1 Lighting equipment (Mandatory). Not less than 80 percent of the permanently installed lighting fixtures shall contain only high-efficiency lamps.



PROPOSED FIRST FLOOR PLAN SCALE 1/4"=1'-0"

LOAD CALCULATION - ONE FAMILY

PROJECT NAME: [ONE STORY ADDITION]
 ADDRESS: [5666 Saint Marys Pkwy, Buffalo Grove, IL 60089]
 BUILDING EXTERIOR DIMENSIONS: LENGTH: [] WIDTH: []
 TOTAL NO. OF FLOORS: [2]
 DATE OF SERVICE: [1/20/2024, 10:30 AM]
 DATE: [February 2, 2022]

SERVICE OCF: 200 A
SERVICE FEEDER: 3-3/4 AWG

GENERAL LIGHTING - QAD

GENERAL LIGHTING LOAD		S.Q.F.		S.Q.F.		S.Q.F.	
BASEMENT	984	984	S.Q.F.	X 3 WATTS / S.Q.F.T =	2952.00	WATTS	
1ST FLOOR	1360	1360	S.Q.F.	X 3 WATTS / S.Q.F.T =	4140.00	WATTS	
	x 1500 watts/sq.ft.				1500	WATTS	
	x 1500 watts/sq.ft.				1500	WATTS	
LAUNDRY CN'S						WATTS	
(minimum 2 circuits)							
SUB-TOTAL GENERAL LIGHTING LOAD =				7140.00	WATTS		

DEMAND

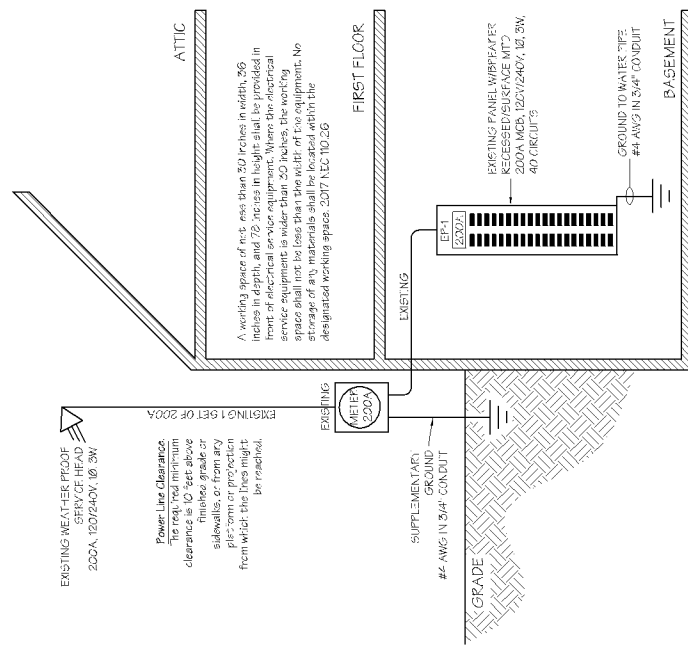
APPLIANCE LOADS

[illegible]

NOTE: HEATING COIL LOADS, BASEBOARD HEATER LOADS, AND AIR-CONDITIONER LOADS ARE NON-COINCIDENTAL ONLY ONE OF THESE LOADS WILL BE REPRESENTED IN THE TOTAL LOAD.

TOTAL ITG. & APPLIANCE WATTS:

POWER RISER DIAGRAM
(NOT TO SCALE)



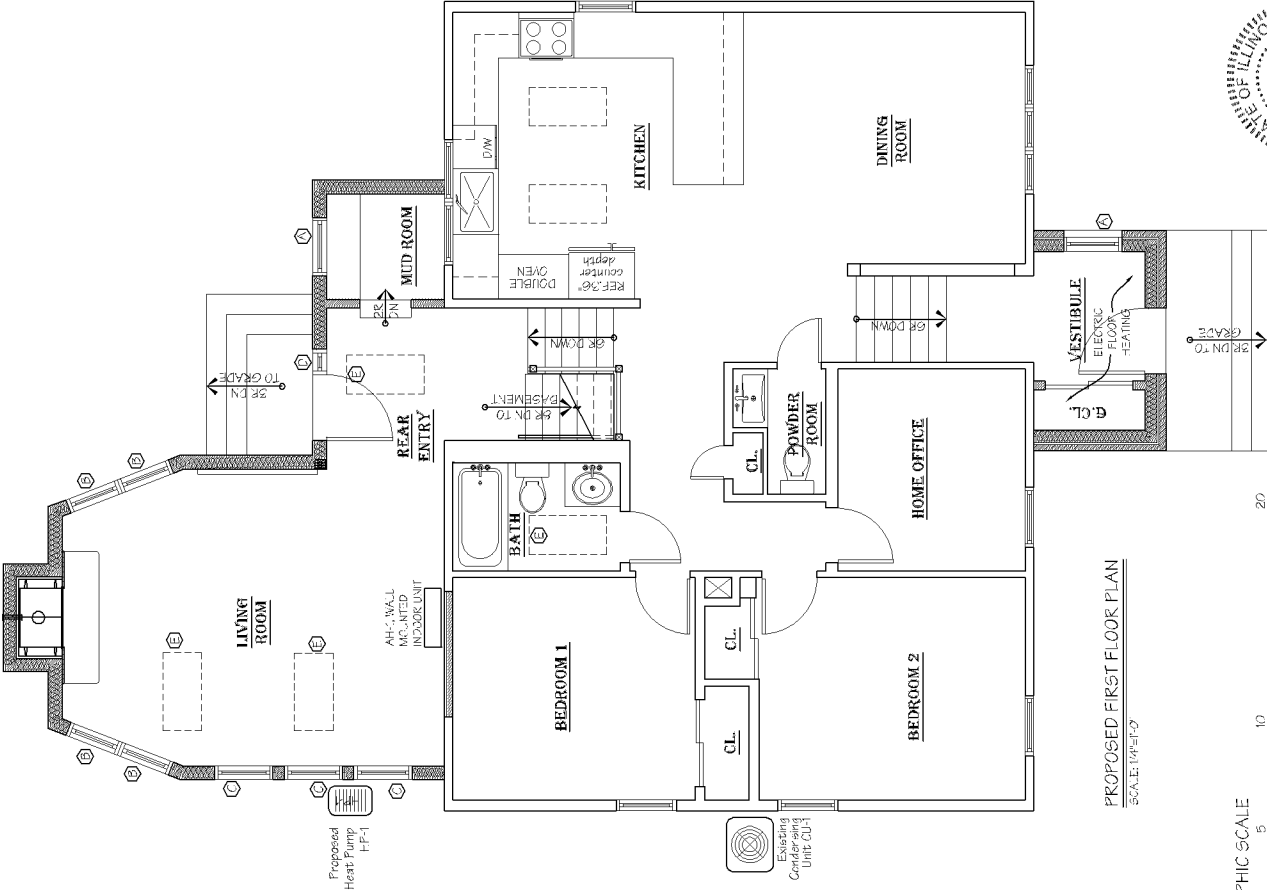
PERMIT 6502, January 9, 2022	ONE STORY ADDITION 566 Saint Marrye Pkwy. Buffalo Grove, IL 60089	SHEET NO.: ELECTRICAL CALCULATIONS	 BRIAN R. ANDERSON, P.E. ANDY KACPERZYK, P.E. 1000 N. WILSON AVE. SCHAUMBURG, IL 60196 tel/fax 773 733 2075	DRAWN BY: TOM KACKICK 773-977-6204 Single "As Shown"	PERCUTING	DATE: February 2, 2022	GEEB INC.
------------------------------	---	--	---	--	-----------	------------------------------	-----------

ROOM DESCRIPTION				LIGHT & VENT SCHEDULE										HEAT DATA									
ROOM NO.		ROOM NAME		FLOOR AREA (SF)		ORDNANCE REQUIREMENTS										ACTUAL PROVIDED		ACTUAL BTU HEAT LOSS		HEAT LOSS FACTOR			
						NATURAL LIGHT & VENTIL (SF)		MECHANICAL VENTL (CFM)						NATURAL LIGHT & VENTIL (SF)		MECHANICAL VENTIL (CFM)							
						VENT AREA	GLASS AREA	PEOPLE OUTDOOR BREATHING ZONE (RP)	OCCUPANCY - (P2)	AREA OUTDOOR BREATHING ZONE (RP)	BREATHING ZONE (P2)	OUTDOOR (P2)	ZONE AIR DISTRIBUTION EFFECTIVENESS (E2)	ZONE OUTDOOR AIR (P2)	EXHAUST AIR FROM ROOM	GLASS AREA	VENT AREA	SUPPLY AIR	EXHAUST AIR FROM ROOM				
1	LIVING ROOM	221.90		177.95	6.68	0	0	0	0	0	0	0	0	0	N/R	57.68	74.55	-	-				
2	REAR ENTRY	39.15		N/R	N/R	0	0	0	0	0	0	0	0	0	N/R	3.41	20.00	-	-				
3	MUD ROOM	25.60		N/R	N/R	0	0	0	0	0	0	0	0	0	N/R	6.31	25.62	-	-				
		286.65				REAR ADDITION										0							
								MINIMUM FURNACE 15:		6500						+15% =		9869	BTU/HR				
								PROPOSED HEAT PUMP HP-118:		14400						EFFICIENCY [%]		85	BTU/HR OUTPUT				
																		165	CFM				
																			400				

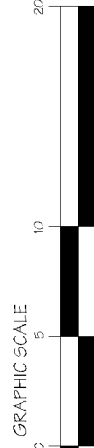
LIGHT & VENT SCHEDULE				ACTUAL PROVIDED										HEAT DATA					
ROOM DESCRIPTION				ORDNANCE REQUIREMENTS								ACTUAL PROVIDED				RECOMMENDED ELECTRIC HEATING WATTAGE	WATT		
				NATURAL LIGHT & VENTL. (SF)		MECHANICAL VENTL. (CFM)						NATURAL LIGHT & VENTL. (SF)		MECHANICAL VENTL. (CFM)					
ROOM NO.	ROOM NAME	FLOOR AREA (SF)		GLASS AREA	VENT AREA	PEOPLE OUTDOOR BREATHING ZONE (RP)	OCCUPANCY - (P2)	AREA OUTDOOR BREATHING ZONE (CFM/SQ.FT. - R4)	BREATHING ZONE OUTDOOR (%2)	ZONE AIR DISTRIBUTION (E3)	ZONE OUTDOOR AIR EFFECTIVENESS (E3)	EXHAUST AIR FROM ROOM (102)	GLASS AREA	VENT AREA	SUPPLY AIR	EXHAUST AIR FROM ROOM	ACTUAL WATTAGE		
1	VESTIBULE	22.85		N/R	N/R	0	0	0	0	0.0	0	0	N/R	0.21	25.69	-		-	268
2	GUEST COSET	9.30		N/R	N/R	0	0	0	0	0.0	0	0	N/R	-	-	-		-	12
TOTAL		32.15		Warm Tiles #5AM023 407200 AM										QUANTITY	1	VOLT		120	504
				PROPOSED HEATING SYSTEM 15;														WATT	

ROOM NO.		ROOM DESCRIPTION		EQUIPMENT SCHEDULE				ELECTRICAL				HEAT DATA			
				DESCRIPTION				VOLT PH HERTZ AMPS WATTS							
				QUAN TITY	DESCRIPTION	QUANTITY	DESCRIPTION	VOLT	PH	HERTZ	AMPS				
1	VESTIBULE	22.85	N/R	N/R	N/R	0	0	0	0	0	0	358	234		
2	GUEST COSET	9.30	N/R	N/R	N/R	0	0	0	0	0	0	12	120		
TOTAL		32.15		Warm Tiles #5AM023 407200 AM				QUANTITY 1				WATT 504			
				PROPOSED HEATING SYSTEM 15;				VOLT 120							

- 2015 IRC, M1504.2.6 Mechanical draft systems.
- Mechanical draft systems shall comply with UL 378 and shall be installed in accordance with their listing, the manufacturer's instructions and except for direct vent appliances (direct vent to apply 206 shall be installed in accordance with the manufacturer's instructions), the following requirements:
- The vent terminal shall be located not less than 3 feet above a forced air intake located within 10 feet of the vent terminal.
 - The vent terminal shall be located not less than 4 feet below, 4 feet horizontally from, or 1 foot above any door, window or opening air inlet into a dwelling.
 - The vent termination shall be located not closer than 3 feet to an interior corner formed by two walls perpendicular to each other.
 - The bottom of the vent terminal shall be located not less than 12 inch above finished ground level.
 - The vent termination shall not be located directly above or within 3 feet horizontally of an oil tank vent or gas meter.
 - Power exhaust terminations shall be located not less than 10 feet from lot lines and adjacent buildings.
 - The discharges shall be directed away from the building.



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



(IN FEET) 1/4"=1'-0"



PERMIT NO. 21501
DATE February 2, 2022
PROJECT NO.
DRAWN BY: JOHN KANLICK
772-574-5501
*0008 04/05/2022
CHECKED BY: ANDRZEJ KACPRZYŃSKI
001.021688
STATE OF ILLINOIS
LICENSED ARCHITECT

ONE STORY ADDITION
566 Saint Marys Pkwy,
Buffalo Grove, IL 60089

SHEET TITLE: BASEMENT & 1ST FLOOR MECHANICAL PLANS

Packet Pg. 28

The plight of the owner is due to unique circumstances:

1. As we enter our home from the front, we only have a slim staircase leading to the living room and the kitchen. My grandmother uses a walker so it makes it difficult for her to enter through the front door. We have nowhere to hang the winter jackets or even put away our shoes so it will not be in the way as we enter the home. Also, the current cemented entrance in the winter tends to get icy and slippery which potentially can be a hazard.

The proposed variation will not alter the essential character of the neighborhood:

1. The proposed variation will not alter the essential character of the neighborhood. In fact, the proposed variation will be using the same materials used throughout the house to maintain the consistency of the character and design of the neighborhood. The entrance will be easy to spot and be inviting for people who visit the home.

There are practical difficulties or particular hardships in carrying out the strict letter of this chapter which difficulties or hardships have not been created by the person presently having an interest in the property; and:

1. The particular hardship applies due to the roof vestibule extending approximately 4.5 feet into the 25' front yard setback.

The proposed variation will not be detrimental to the public health safety:

1. The proposed variation will extend the space so access will be easy for us going in and out of the house.





**Action Item : Workshop- Proposed Multi-Family Development at
16606 W Highway 22, Prairie View (Fiore Property)**

Recommendation of Action

Both staff and the Developer are seeking the PZC's thoughts and comments concerning the plan.

Staff has recently received a petition from E-Terra+ and Interforum (Developer) to redevelop the undeveloped 11.4 acre property located at 16606 W Highway 22, Prairie View into a new multi-family development on the property. The existing site is occupied by Fiore Nursery and Landscape Supply, which includes landscaping storage and sales facilities and other landscaping supplies. The proposed project implements the vision that was established through the Village's Prairie View Metra Station Area Plan.

Prior to the required public hearing, the developer is seeking comments from the PZC regarding their plans. This item was referred by the Village Board.

ATTACHMENTS:

- Staff_Report (DOCX)
- Plan Set (PDF)

Trustee Liaison
Johnson

Staff Contact
Nicole Woods, Community Development

Wednesday, March 16, 2022

VILLAGE OF BUFFALO GROVE



MEMORANDUM

DATE: March 11, 2022

TO: Planning & Zoning Commission

FROM: Nicole Woods, Community Development Director

SUBJECT: **Workshop** - Proposed Multi-Family Development at 16606 W Highway 22, Prairie View (Fiore Property)

BACKGROUND

E-Terra+ and Interforum (Developer) is looking to redevelop the unincorporated 11.4 acre property located at 16606 W Highway 22, Prairie View into a new multi-family development on the property. The existing site is occupied by Fiore Nursey and Landscape Supply, which includes landscaping storage and sales facilities and other landscaping supplies. The proposed project implements the vision that was established through the Village's Prairie View Metra Station Area Plan.

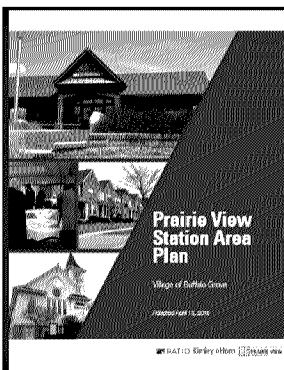
The developer has constructed similar properties which include Arden Oakbrook, a 314 luxury rental development in Oakbrook Terrace and Arden Warrenville, a 364 luxury rental development in Warrenville.



On February 22, 2022 the developer presented an overview of the concept plan to the Village Board. During the Village Board meeting, the Trustees discussed setbacks, density, and the general development of the Prairie View Metra Area. Overall, the Trustees were supportive of the development as it fulfills the vision of the Prairie View Metra Station Area Plan.

The Developer is finalizing their plans and is seeking comments from the PZC.

PRAIRIE VIEW METRA STATION AREA PLAN AND COMPREHENSIVE PLAN



The proposed development within lies in the heart of the Prairie View Metra Station Area (PVMSA). Once a small pocket of development in an agricultural area, the PVMSA has become a neighborhood of two separate characters split along the irregular boundary line between unincorporated Lake County and Buffalo Grove. The unincorporated area is the older part of the neighborhood and retains the original, hamlet-type development pattern. In contrast, the incorporated Buffalo Grove part of the neighborhood exhibits a more suburban, development pattern. Much of this development has been built in the past few decades including the more recent Easton Station Townhomes and Prairie Landing townhomes.

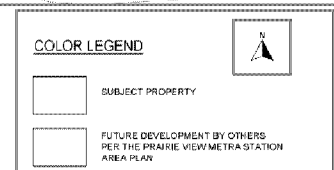
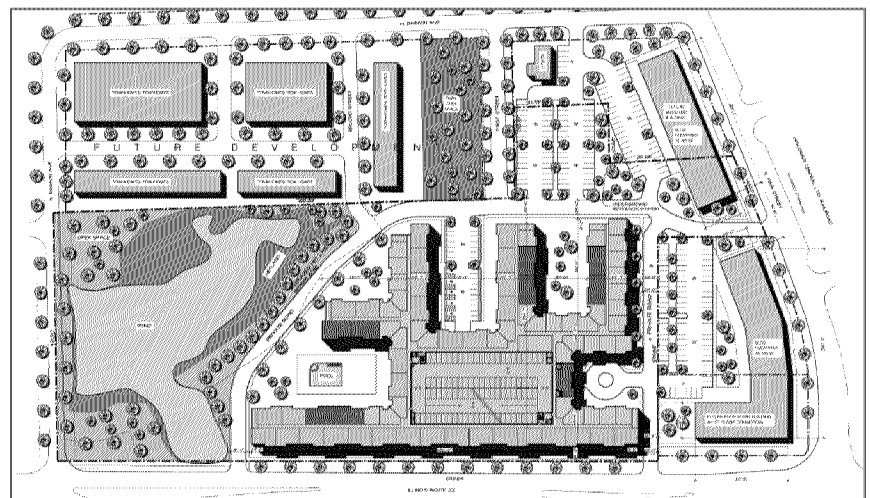
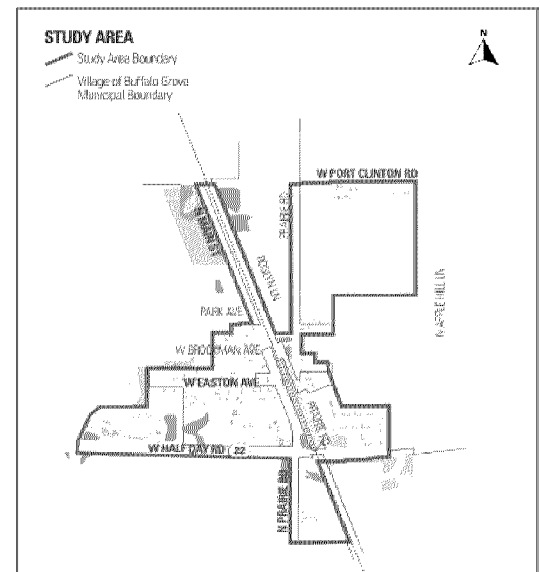
Over the past few years, market pressures continued to mount for redeveloping PVMSA. Buffalo Grove recognized the need for a clear vision to guide future growth and consequently, kicked off the Prairie View Metra Station Area Plan in 2018. The Plan was completed in April 2019 and adopted as a component of the Village's Comprehensive Plan. It represents a community-driven vision for what PVMSA could look like over the next 10-20 years. The Plan itself is a framework, not a specific development or construction plan. In that sense, imagery and plans featured in the Prairie View Plan are meant to provide examples and ideas of how some of the main concepts could be implemented. It is expected that future redevelopment embraces and implements the vision's core principles.

The Developer's proposal is the first redevelopment project in the Prairie View Metra Station Area Plan since the Plan's adoption. As discussed below, it incorporates the main concepts from the Plan and will look to serve as a catalyst for further development in the area.

PROPOSED PLAN

The Developer is proposing a four-story multi-family residential development that would offer 300 apartment units (26 units/acre). This would include one-bedroom units (147), two-bedroom units (120), and three-bedroom units (33). The proposed development would feature a wrap building design, meaning that the building would wrap around an internal parking garage. The development would be approximately 488,000 square feet and include a variety of amenities such as a swimming pool, yoga studio, exercise room, community room, and other open areas.

The project would require annexation and then rezoning to R9 multiple-family zoning district with a Special Use for a Planned Development. Developments that retain this type of density include Turnberry (23 units per acre) and Town Place (28 units per acre). The property would be set back approximately 25 feet from Illinois Route 22. The building would be approximately 47' height at its tallest point, which is in aligned with other types of residential buildings found and allowed in the R-9 zoning district.



Future Development

The proposed project looks to solely redevelop the Fiore Nursery property. The surrounding properties, including the Lake County Scrap Metal property will, at this time, remain. The proposed site plan shows the multifamily development (grey) as well as how the balance of the area could redevelop in the future (yellow). The site plan is aligned with the Prairie View Metra Station Area Plan's vision of the subarea. Staff will work closely with the petitioner to ensure that the site plan will continue to anticipate future development to ensure integration and the implementation of the Prairie View Plan's vision.



Parking and Accessibility

The Zoning Ordinance requires a minimum of 510 parking spaces for multi-family projects. The developer is proposing a total of 530 parking spaces. This includes 386 garage spaces and 144 outdoor parking spaces. Overall, staff finds that the proposed concept meets Code requirements. The site would be accessible via three main existing points. This includes two access points along Route 22, as well as one access point via North Main Street. Private roads that would provide connections from the entry points to the development. The site would also have direct access to the Prairie View Metra Station area located approximately 500 feet away.

Landscaping and Façade

The developer is proposing to utilize natural materials for the building facade and landscaping to help cultivate a neighborhood environment and maintain the small-town character of the area. Landscaping will be featured around the perimeter of the development and within the parking areas and entry ways. Complimentary landscaping and pedestrian elements such as benches and trellises will be scattered to create welcoming atmosphere.

IMPLEMENTATION OF THE PRAIRIE VIEW METRA STATION AREA PLAN

The proposed plan implements the following core concepts of the PVMSA Plan:

- Provides the dense multi-family housing envisioned at the southeast corner of the Prairie View Metra Station Area's central subarea
- Offers a housing option that is attractive to the emerging demographics, such as millennials, young families, baby boomers and empty nesters
- Leverages one of the area's greatest assets (Prairie View Train Station) by creating a housing and transportation nexus
- Begins to build a multi-modal road network infrastructure and thereby enhances connectivity and accommodates vehicular, pedestrian, and bicycle traffic
- Anticipates and integrates into future developments (both residential, mixed use, and commercial) shown in the Prairie View Metra Station Area Plan



- Utilizes materials and landscaping to that is in alignment with the tone established by the area's historical architecture, character, and charm
- Helps transform the Prairie View Metra Station Area into a destination and create an identity

PROCESS

Based on the plans submitted, it is anticipated that the following approvals will be required:

- Annexation
- Plat of Subdivision
- Rezoning to R9 Multi-Family Residential Zoning District
- Special Use request for a PUD
- Preliminary Plan Approval
- Potential variations

ACTION REQUESTED

Both staff and the Developer are seeking the PZC's thoughts and comments concerning the plan.

e-Terra+

16606 W Highway 22 – Prairie View

Intake Narrative

January 5, 2022

Current Conditions

The subject property is located at 16606 W Highway 22, in Unincorporated Prairie View, Lake County, IL, and consisting of 11.417 Gross Acres of Land with 11.126 Acres Net Area. The existing site is occupied by Fiore Nursery and Landscape Supply for sales and storage of landscaping supplies, bagged trees, shrubs, rock, stone, and vehicle and equipment parking, and maintenance.

The property is adjacent to the Prairie View Metra Station to the East, the Village of Buffalo Grove Fire Station to the West, Residential & Residential with Special/Business Use to the North, Highway 22 to the South with Multi-Family across. There are a variety of land uses in the immediate area consisting mostly of multi-family, the Metra Station, the Fire Station, and Offices.

The Property is currently in Unincorporated Lake County in Prairie View, IL, and we are seeking to annex to Buffalo Grove.

Proposed Project

The proposed development consists of 300 apartment homes in a Four-Story Building, in a Wrap Design. Wrap, meaning the building wraps around the parking garage, thereby being incredibly aesthetic, hiding the majority of the auto parking. The building will be highly amenitized with first class amenities, including an in-ground swimming pool, yoga studio, workout room with equipment, a community room with amenities, game room, open areas and more.

The proposed building is expected to have approximately 147 One Bedrooms, 120 Two Bedrooms, and 33 Three Bedrooms. Parking for approximately 530 cars, consisting of approximately 386 garage spaces and 144 outdoor parking spaces.

The sites pond and wetlands will be significantly improved both aesthetically and in water quality. The trees on the property are mostly scrub trees that have overgrown at the intersection of Easton and Half Day Road. Our Landscape Architect will prepare plans in the process to remove any nonnative species and improve the water quality of the wetlands. We will be maintaining a fifty-foot averaged buffer zone to the wetland as well. In addition, extensive landscaping will be provided at the entrances, around the building, and within the site. A significant improvement to the existing site.

Prairieview Metra Station Area Plan

This proposed development implements and enhances the Village's Prairieview Metra Station Area Plan, and will kick off the plan for the community's benefit. Optimistically spurring further improvements to the immediate area and plan.

Project Development and DCD Input

The development team has been in discussions with the Village since early March of 2020. We have discussed our preliminary plans with the Director of Community Development, and with his comments, have improved the layout, ingress, and traffic flow, which is shown on the Revised Site Plan.

Location

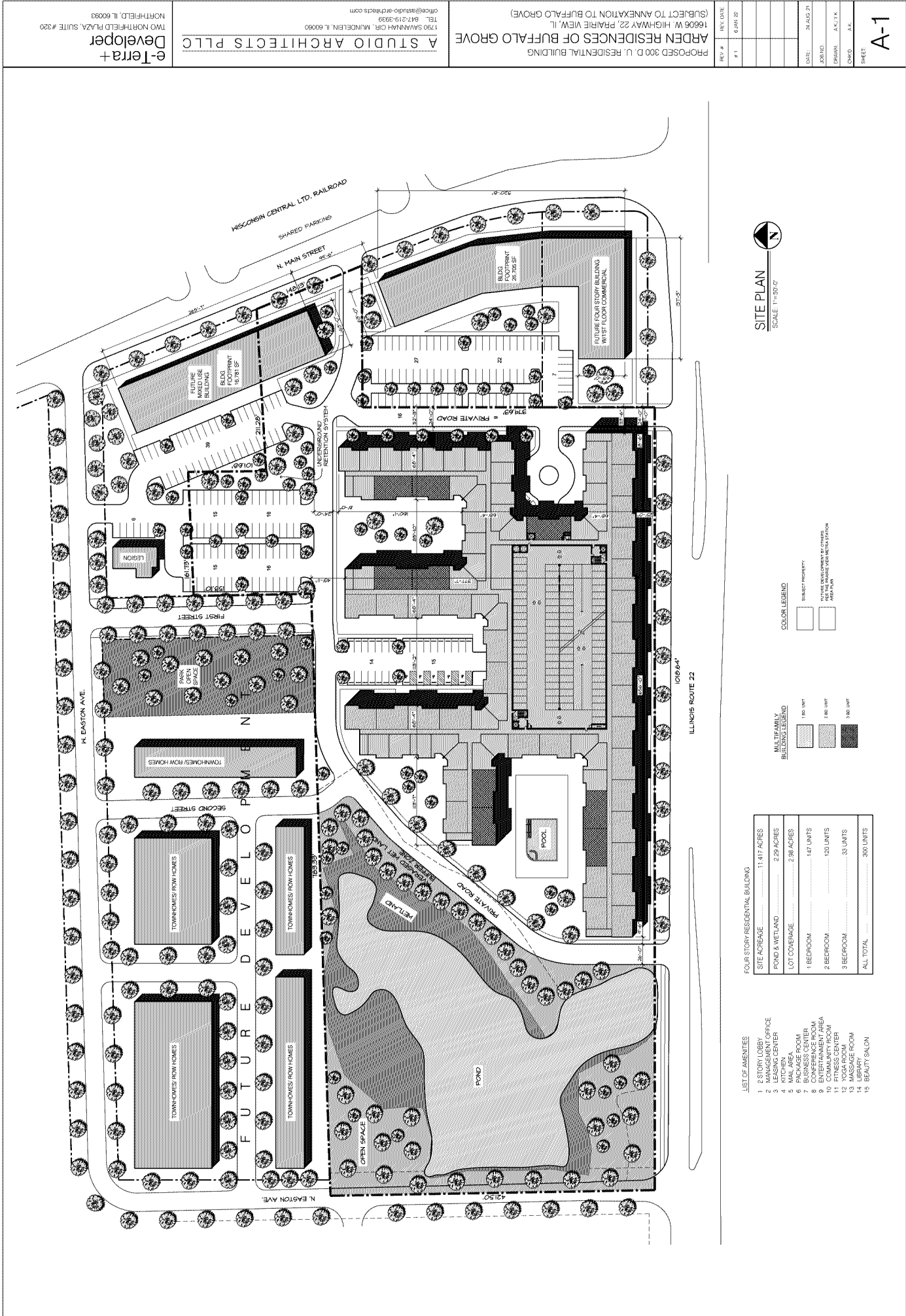
Located near the northwest corner of Main Street and IL Route 22/Half Day Road, the proximity of the Metra Station is an asset to the proposed community, as well as convenient access nearby to the expressways.

Experience

We have a number of completed, similar, and successful communities in the suburbs, including Cantera in Warrenville and Oak Brook Lakes in Oakbrook Terrace.

Economic Impact and Social Impact

There will be significant increase in real estate taxes generated from the development, approximately 200 construction jobs, plus a number of full-time jobs. Furthermore, the increased residents will assist in the continued viability of the local businesses in the community.



- LIST OF AMENITIES
- 1 2 STORY LOBBY
 - 2 2 STORY LOBBY
 - 3 LEASING CENTER
 - 4 KITCHEN
 - 5 MAIL AREA
 - 6 MAIL AREA
 - 7 BUSINESS CENTER
 - 8 CONFERENCE ROOM
 - 9 COMMUNITY ROOM
 - 10 FITNESS CENTER
 - 11 YOGA ROOM
 - 12 YOGA ROOM
 - 13 BEAUTY SALON
 - 14 BEAUTY SALON
 - 15 BEAUTY SALON

FOUR STORY RESIDENTIAL BUILDING	
SITE AREA	11.417 ACRES
POND & WETLAND	2.29 ACRES
LOT COVERAGE	2.98 ACRES
1 BEDROOM	147 UNITS
2 BEDROOM	123 UNITS
3 BEDROOM	33 UNITS
ALL TOTAL	303 UNITS

MULTIFAMILY BUILDING LEGEND	
180 SFT	
180 SFT	
180 SFT	

COLOR LEGEND	
	SHARED PROPERTY
	EXISTING BUILDING
	PROPOSED BUILDING

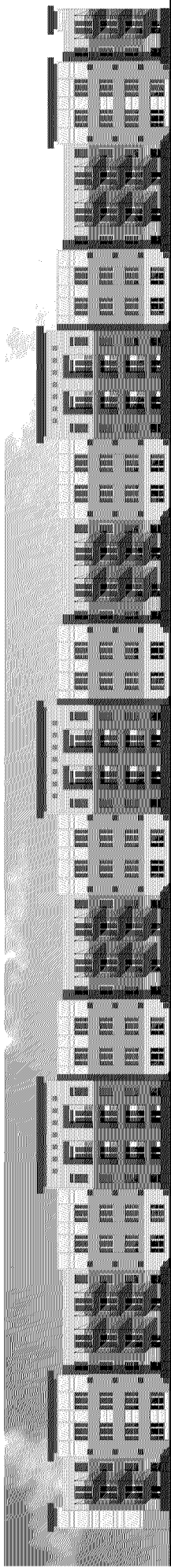
SITE PLAN
SCALE 1"=50' 0"

A-1

PROPOSED 300 D. U. RESIDENTIAL BUILDING
ARDEEN RESIDENCES OF BUFFALO GROVE
(SUBJECT TO ANNEXATION TO BUFFALO GROVE)
16606 W. HIGHWAY 22, PRAIRIE VIEW, IL
OFFICE: 847-219-0000
TEL: 847-219-0000
office@studio-ardens.com

A STUDIO ARCHITECTS PLLC
1790 SAVANNAH CIR., NUNDELEIN, IL 60090
OFFICE: 847-219-0000
office@studio-ardens.com

e-Terra+ Developer
TWO NORTHFIELD PLAZA, SUITE #320
NORTHFIELD, IL 60093



PARTIAL ELEVATION #1

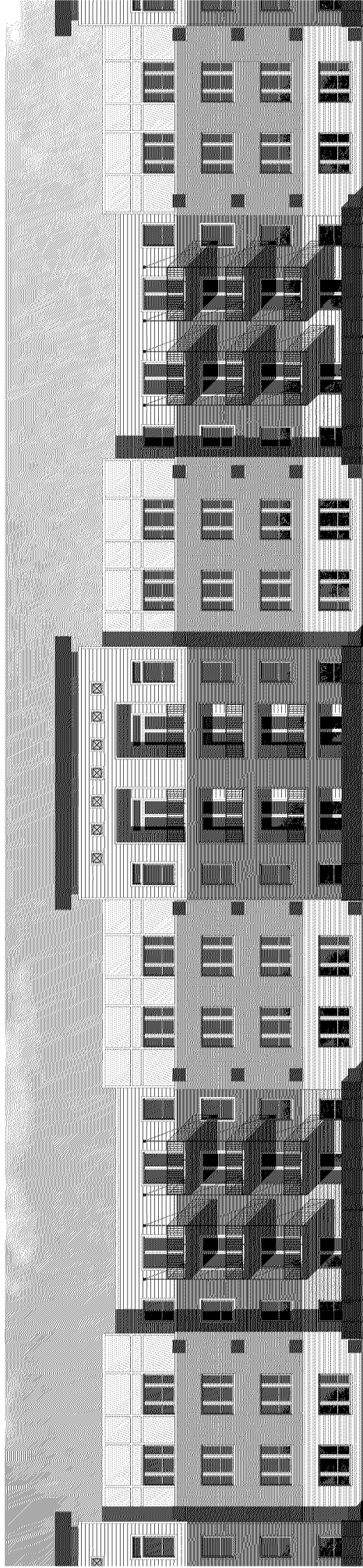
PARTIAL ELEVATION #2

HALF DAY ROAD ELEVATION

PARTIAL ELEVATION #3

3.A.1.b

Attachment: Plan Set (Workshop-Proposed Multi-Family Development at 16606 W Highway 22, Prairie View (Flore Property))



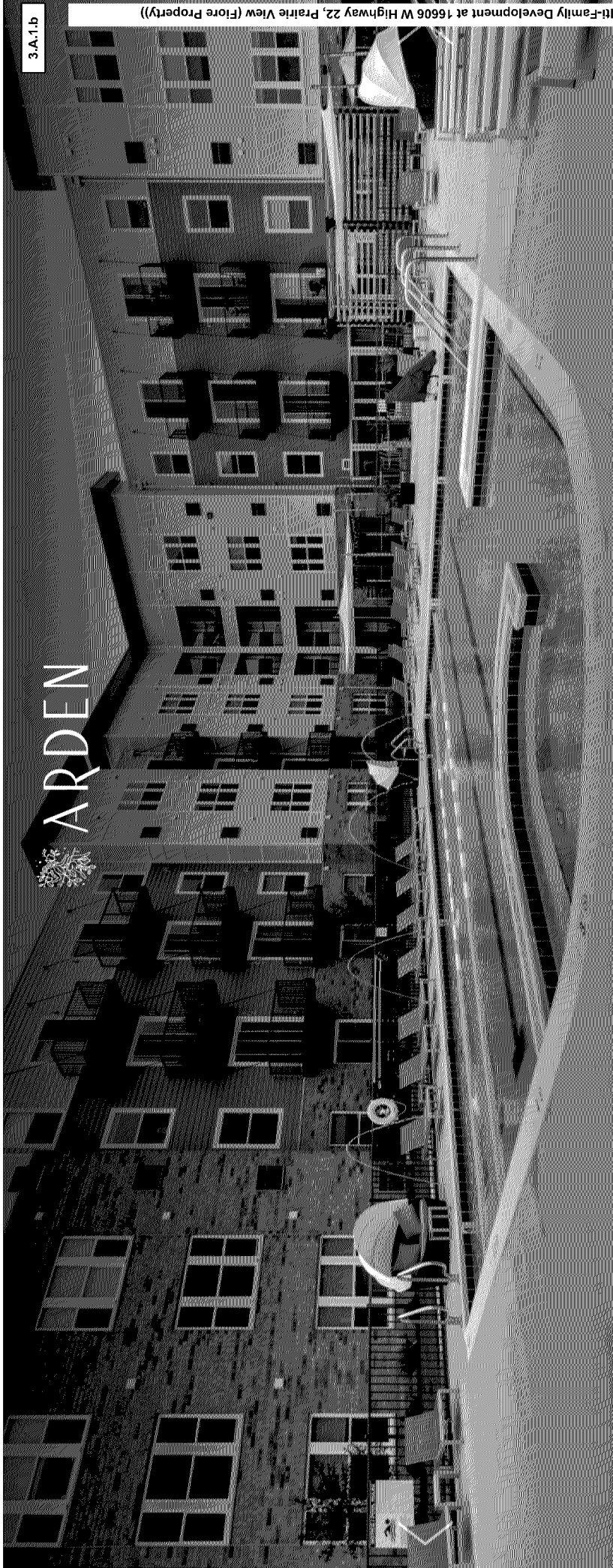
PARTIAL ELEVATION #2



PARTIAL ELEVATION #1



PARTIAL ELEVATION #3



3.A.1.b

Attachment: Plan Set (Workshop-Proposed Multi-Family Development at 16606 W Highway 22, Prairie View (Flore Property))

MULTIPLE LOOKS. ONE SOURCE.

Less time managing, more time imagining.

Why settle for one look when you can get multiple textures and finishes from a single manufacturer? With Nichiha Architectural Wall Panels, you can mix and match cladding styles to achieve the varied look you've been searching for. Whether you're looking for metal, stone, wood, concrete or brick, *we* have it all. Plus, all of our panel styles operate on the same clip installation system — saying goodbye to multiple contractors. You'll be able to move from conception to completion with ease, all while saving time and money.

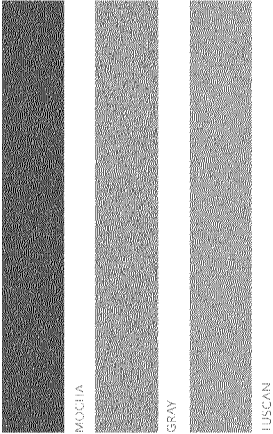


Take modern to the next level with distinct textures and tones.

The clean, modular look of the Nichiha Modern Series is a versatile choice for commercial projects. The stylish tones and subtle seams are the perfect partner for gleaming glass and stainless steel. If you're looking for a modern contrast, the cool hues glow when paired with the warmth of wood. This series offers two distinct textures to ensure you find the perfect fit. ArchitecturalBlock™ is a handsome, durable and cost-effective solution. The ease of installation and wide variety of corner options make it as popular with contractors as it is with clients.

Its partner product, TuffBlock™, offers many of the same features as ArchitecturalBlock, but takes urban to the next level with a tough, textured finish. TuffBlock is built to last with strong construction that stands up to everyday wear and tear, making it the perfect panel for high-traffic areas. Whichever panel you choose, you've picked one that packs a punch while saving you time and money in the long run.

ARCHITECTURALBLOCK

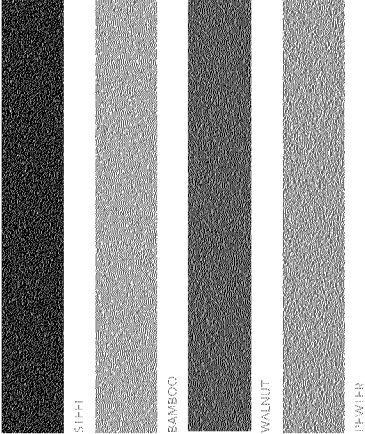


ARCHITECTURALBLOCK SPECS

AWP 1818
DIMENSIONS (ACTUAL MM)
17-7/8" H x 71-9/16" L (455MM H x 1818MM L)

THICKNESS (ACTUAL MM)
5/8" (16MM)
WEIGHT (LBS. PER PANEL)
35.2
WEIGHT (LBS. PER SQ. FT.)
3.9
EXPOSED COVERAGE (SQ. FT. PER PANEL)
8.88 SQ. FT.
PACKAGING (PIECES PER PACK)
2 (17.76 SQ. FT.)

TUFFBLOCK



TUFFBLOCK SPECS

AWP 1818
DIMENSIONS (ACTUAL MM)
17-7/8" H x 71-9/16" L (455MM H x 1818MM L)

THICKNESS (ACTUAL MM)
5/8" (16MM)
WEIGHT (LBS. PER PANEL)
35.2
WEIGHT (LBS. PER SQ. FT.)
3.9
EXPOSED COVERAGE (SQ. FT. PER PANEL)
8.88 SQ. FT.
PACKAGING (PIECES PER PACK)
2 (17.76 SQ. FT.)



CUSTOM HUES MEET MODERN DESIGN

With Color Xpressions, TuffBlock is now available in an array of custom colors. Learn more on page 6.

Achieve the look of stacked stone without piling on cost.

The Nichiha KuraStone™ family of products gives you the rustic stacked stone look you've been wishing for — without breaking your budget. Its rugged texture and color variation add interest and charm as an accent or as the main attraction for a building, and the wide variety of finishes and panel sizes provide a natural look no matter where you use them. Plus, the reduced material cost and simplified installation come together to save you time and money.

STACKEDSTONE



1D-SFR1



MOUNTAIN

LEDGESTONE

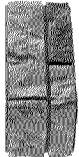


PL1111

STACKEDSTONE CORNER



LEDGESTONE CORNER



SILL-CHISELED



GRAY



TAN

STACKEDSTONE AND LEDGESTONE SPECS

DIMENSIONS (ACTUAL MM)	6" H x 25-5/8" L, 15-3/8" L, 10-1/4" L (150MM H x 650MM L, 390MM L, 260MM L)
THICKNESS (ACTUAL MM)	1-3/8" (35MM)
WEIGHT (LBS. PER SQ. FT.) - STACKEDSTONE	8.9
WEIGHT (LBS. PER SQ. FT.) - LEDGESTONE	9.2
COVERAGE (SQ. FT. PER PANEL)	1.1 (large), .63 (medium), .43 (small)
PACKAGING (SQ. FT. PER PACK)	5.4
PACKAGING (PIECES PER PACK)	3 large, 2 medium, 2 small

STACKEDSTONE AND LEDGESTONE CORNERS SPECS

DIMENSIONS (ACTUAL MM)	6" H x 5" W x 13" L [face] (150MM H x 125MM W x 330MM L [face])
THICKNESS (ACTUAL MM)	1-3/8" (35MM)
WEIGHT (LBS. PER PIECE) - STACKEDSTONE	6.7
WEIGHT (LBS. PER PIECE) - LEDGESTONE	8.5
COVERAGE (SQ. FT. PER PIECE)	.75
PACKAGING (SQ. FT. PER PACK)	3
PACKAGING (PIECES PER PACK)	4

SILL-CHISELED SPECS

DIMENSIONS (ACTUAL MM)	1-1/2" H [front] 1-3/4" H [back] x 23-5/8" L (38MM H [front] 47MM H [back] x 600MM L)
THICKNESS (ACTUAL MM)	2-3/8" (60MM)
WEIGHT (LBS. PER LN. FT.)	3.5
COVERAGE (LN. FT. PER PIECE)	2
PACKAGING (LN. FT. PER PACK)	12
PACKAGING (PIECES PER PACK)	6

NOTES: SPECS ARE PACKAGED WITH 4 INSTALLATION CLIPS.

Get a timeless brick finish without the traditional hassle.

The slight variations in color, the stately good looks, the grout lines — it's all there in the Nichiha Brick Series. Thanks to a proprietary multi-layered coating process, the beauty of brick is built to last in these fiber cement panels. With five finishes, you have the freedom to create the brick building of your choice *without* the extra cost or hassle. These panels really do have it all; however, we did leave out the tons of weight and the extra time required to see your project to completion. We figured they wouldn't be missed.

VINTAGEBRICK™



ALL XANDRIA RUFF



WHITE WASH

VINTAGEBRICK™ SPECS

AWP 1818

DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 1818MM L)
THICKNESS (ACTUAL MM)	3/4" (19MM)
WEIGHT (LBS. PER PANEL)	39.6
WEIGHT (LBS. PER SQ. FT.)	4.4
EXPOSED COVERAGE (SQ. FT. PER PANEL)	8.88 SQ. FT.
PACKAGING (PIECES PER PACK)	2 (17.76 SQ. FT.)

PLYMOUTHBRICK™



CRIMSON



Get the classic look of kiln-fired brick with the modern strength of PlymouthBrick panels.

PLYMOUTHBRICK™ SPECS

AWP 1818

DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 1818MM L)
THICKNESS (ACTUAL MM)	5/8" (16MM)
WEIGHT (LBS. PER PANEL)	35.2
WEIGHT (LBS. PER SQ. FT.)	3.9
EXPOSED COVERAGE (SQ. FT. PER PANEL)	8.88 SQ. FT.
PACKAGING (PIECES PER PACK)	2 (17.76 SQ. FT.)

CANYONBRICK™



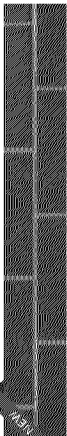
SHALE BROWN

CANYONBRICK™ SPECS

AWP 1818

DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 1818MM L)
THICKNESS (ACTUAL MM)	5/8" (16MM)
WEIGHT (LBS. PER PANEL)	35.2
WEIGHT (LBS. PER SQ. FT.)	3.9
EXPOSED COVERAGE (SQ. FT. PER PANEL)	8.88 SQ. FT.
PACKAGING (PIECES PER PACK)	2 (17.76 SQ. FT.)

MODERNBRICK™



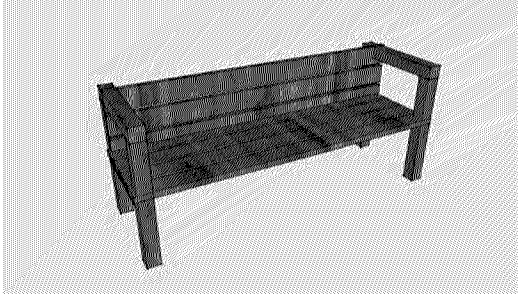
NEUTRAL

MODERNBRICK™ SPECS

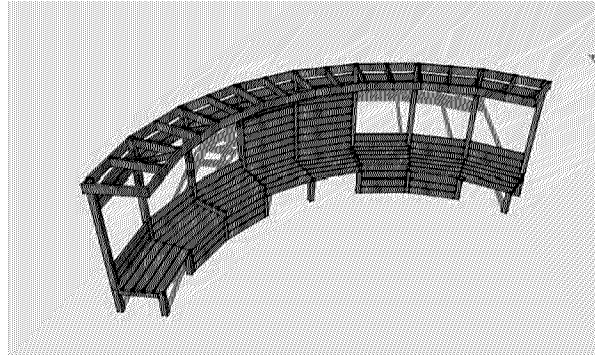
AWP 1818

DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 1818MM L)
THICKNESS (ACTUAL MM)	5/8" (16MM)
WEIGHT (LBS. PER PANEL)	36.6
WEIGHT (LBS. PER SQ. FT.)	4.1
EXPOSED COVERAGE (SQ. FT. PER PANEL)	8.88 SQ. FT.
PACKAGING (PIECES PER PACK)	2 (17.76 SQ. FT.)

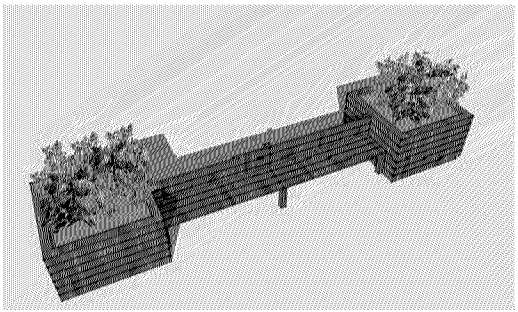
PRELIMINARY LANDSCAPE CONCEPT



3D View Bench 1



3D View Seating 2



3D View Planter Bench

6. All plants shall be balled and wrapped or container grown as specified. No container grown stock will be accepted if it is root balled. All root wrapping material made of synthetics or plastics shall be removed at time of planting.
7. With container grown stock, the container shall be removed and the container ball shall be cut through the surface in two vertical locations.
8. The day prior to planting, the location of all trees and shrubs shall be staked for approval by the project landscape architect or equal.
9. All plant material shall be selected at the nurseries by the project landscape architect or equal.
10. At planting time, all plants shall be thinned by removing a balanced one-third of the vegetative material.
11. All plants shall be sprayed with an antidesiccant within 24 hours after planting.

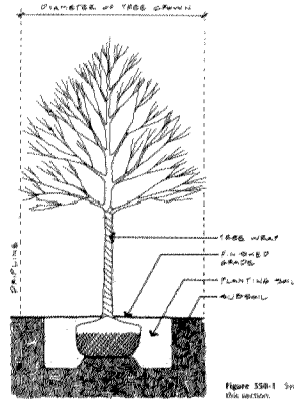
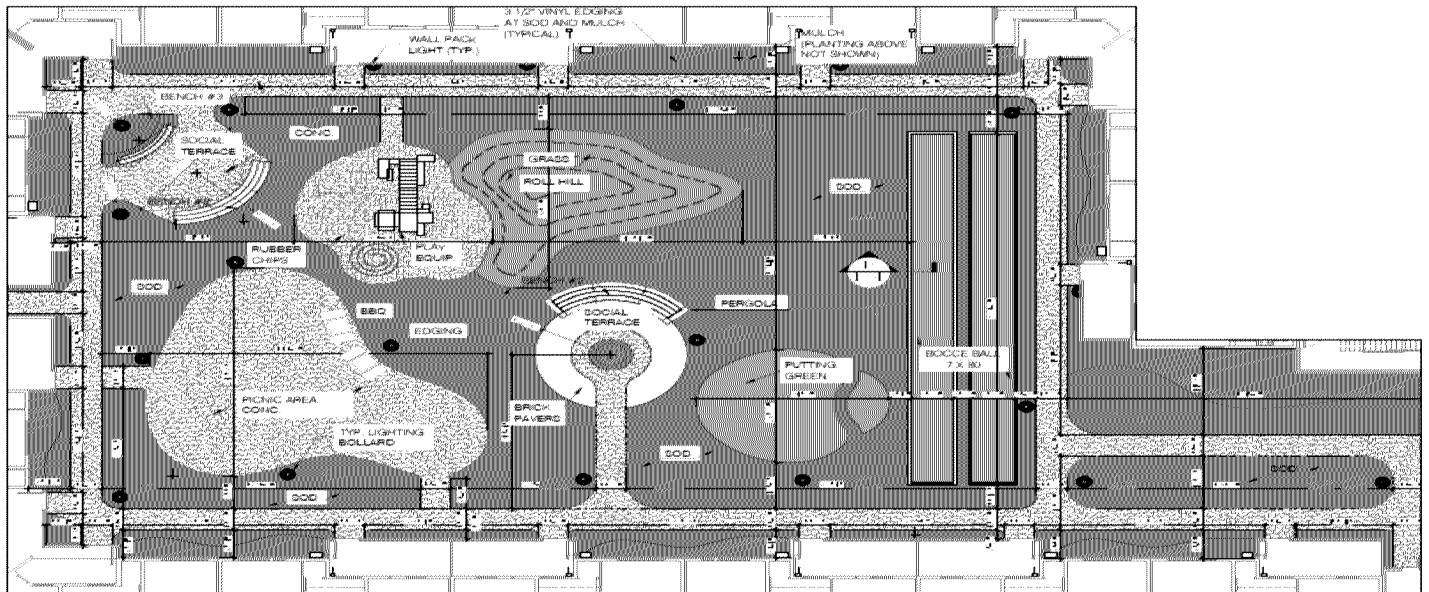


Figure 558-1. Symbol for this section.

Typical Tree Section



Open Space I with Bocce Ball

MEMORANDUM TO: Kristopher Plencner
eTerra+

FROM: Luay R. Aboona, PE, PTOE
Principal

DATE: January 31, 2022

SUBJECT: Traffic Impact Statement
Proposed Apartment Development
Buffalo Grove, Illinois

This memorandum summarizes the results and findings of a site traffic evaluation conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the proposed apartment development to be located in Buffalo Grove, Illinois. The site, which is currently occupied by Fiore Nursery and Landscape Supply, is located at 16606 W. IL Route 22. As proposed, the site will be redeveloped with an apartment development with 300 units and 530 parking spaces. Access will be provided via two right-in/right-out access drives on IL Route 22 and a full-movement access drive on Main Street. **Figure 1** shows an aerial view of the site.

The purpose of this evaluation is to determine the impact of the traffic generated by the proposed apartment development on the area roadway system and the adequacy of the proposed access.

Existing Traffic Conditions

The following provides a detailed description of the physical characteristics of the roadways including geometry and traffic control, adjacent land uses, and average daily traffic volumes along the adjacent area roadways.

IL Route 22 (W. Half Day Road) is an east-west major arterial with a five-lane cross section that in the vicinity of the site provides two lanes in each direction divided by a landscaped median. At its signalized intersection with Main Street/Prairie Road, IL Route 22 provides an exclusive left-turn lane, a through lane, and a shared through/right-turn lane on the eastbound and westbound approaches. IL Route 22 is under the jurisdiction of the Illinois Department of Transportation (IDOT), is classified as a Strategic Regional Arterial (SRA), carries an Annual Average Daily Traffic (AADT) volume of 20,600 vehicles (IDOT 2019), and has a posted speed limit of 35 miles per hour.

Prairie Road (Lake County Route W17) is a north-south roadway that extends between IL Route 22 and Aptakisic Road. At its signalized intersection with IL Route 22, Prairie Road is widened to provide a northbound right-turn lane. Prairie Road is under the jurisdiction of the Lake County Division of Transportation (LCDOT), carries an AADT volume of 7,450 vehicles (IDOT 2019), and has a posted speed limit of 40 miles per hour.

Main Street is a north-south local roadway that extends between IL Route 22 and Buffalo Grove Road. At its signalized intersection with IL Route 22, Main Street is aligned opposite Prairie Road and is widened to provide a southbound left-turn lane. Access to the Prairie View Metra station and surface parking lot is provided off Main Street. Main Street is under the jurisdiction of the Village of Buffalo Grove and has a posted speed limit of 30 miles per hour.

Traffic Characteristics of the Proposed Apartment Development

As indicated earlier, the site will be redeveloped with an apartment development with 300 units and 403 garage parking spaces and 117 outdoor parking spaces for a total of 530 spaces. Access will be provided via two restricted access drives off IL Route 22 and one full-movement access drive off Main Street. The proposed access system will result in the elimination of one access drive on IL Route 22, which will help reduce the points of conflict and improve traffic flow. A copy of the site plan is provided in the Appendix.

Development Traffic Generation

The number of peak hour trips estimated to be generated by the proposed apartment development was based on vehicle trip generation rates contained in *Trip Generation Manual*, 10th Edition, published by the Institute of Transportation Engineers (ITE). The “Multifamily Housing Low Rise” (Land-Use Code 220) rate was used for the proposed apartment development. **Table 1** shows the estimated vehicle trip generation for the weekday morning and weekday evening peak hours as well as daily traffic. It should be noted that, given the proximity of the site to the Prairie View Metra station, it is anticipated that not all of the residents will drive to commute to work. As such, the trip generation estimates summarized in Table 1 are conservatively high.

Table 1

ESTIMATED PEAK HOUR VEHICLE TRIP GENERATION

ITE Land Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Daily Traffic
		In	Out	Total	In	Out	Total	
220	Apartments (300 units)	28	88	116	95	55	150	1,998

Evaluation

When the estimated peak hour traffic volumes anticipated to be generated by the proposed apartment development are compared to the total projected peak traffic volumes, the development-generated traffic will not have a detrimental traffic on the area roadways based on the following:

- The proposed apartment development will only generate approximately 116 trips during the weekday morning peak hour, 150 trips during the weekday evening peak hour, and 1,998 trips daily distributed over three access drives and onto two roadways.
- The site-generated trips will increase the two-way traffic volume along IL Route 22 by approximately four to five percent daily.
- The site-generated trips will increase the two-way traffic volume along IL Route 22 by approximately three to four percent during the weekday morning and evening peak hours.

Access Evaluation

As previously indicated, access to the site will be provided via two access drives on IL Route 22 that will be physically restricted via the existing barrier median and one full-movement access drive on Main Street to be located near the north property line to maximize the spacing from IL Route 22. The design of the access drives with one inbound lane and one outbound lane under stop sign control will ensure that efficient and adequate access is provided.

Parking Evaluation

As previously indicated, the proposed apartment development will provide 300 units and a total of 530 parking spaces, which translates into a ratio of 1.77 spaces per unit. Based on the above and the requirements of the Village of Buffalo Grove, multifamily housing should provide a ratio of 1.75 parking spaces per unit, which translates into 525 parking spaces. As such, the proposed parking supply exceeds the parking requirement and will result in a surplus of five parking spaces.

Conclusion

Based on the proposed plan and the preceding evaluation, the following conclusions and recommendations are made:

- The traffic to be generated by the proposed apartment development will not be significant and can be accommodated by the existing roadway system.
- Given the proximity of the site to the Prairie View Metra station, the number of vehicle trips during the weekday morning and evening peak hours will be reduced.
- The proposed access system will ensure that flexible access is provided for traffic entering and exiting the site.
- The proposed parking supply will meet the Village parking code requirement.

Appendix

From: Jeffrey Berman
To: Christopher Stilling; Nicole Woods; Rati Akash
Cc: Dane C. Bragg
Subject: Proposed Multi-Family Development at 16606 W Highway 22, Prairie View
Date: Thursday, March 10, 2022 11:21:24 AM

Dear Chris, Nicole and Ms. Akash:

During the New Business portion of their meeting held on February 22, 2022 (Item 11.A), the Village Board held a "Pre-Application Discussion" for the "Proposed Multi-Family Development at 16606 W Highway 22, Prairie View." As reflected in the staff memo included in the agenda packet, E-Terra+ and Interforum, as Developer/Contract Purchaser, is seeking to construct a new 300-unit apartment development on the unincorporated property (Fiore Nursery) located at 16606 W Highway 22, Prairie View. I did not attend the February 22 meeting, but I have reviewed the packet materials, as well as an article that appeared in the Daily Herald shortly thereafter. It is my understanding that the Village Board, in accordance with staff's recommendation, referred the matter to the Planning & Zoning Commission for its consideration and recommendation.

I do not presently see an agenda posted to the Village's website for any upcoming meeting of the Planning & Zoning Commission, and I do not know when the matter will be presented to the PZC. I would like to share a few thoughts and some historic perspective that may aid the PZC in its deliberations on this proposal, which I include below. I would respectfully request that they be timely shared with the members of the Commission.

I read with some interest Steve Zalusky's article in the Daily Herald concerning the proposed development (and related proposed annexation) that was published after the Village Board meeting. I noted, in particular, that the article quotes Chris Stilling as responding to a question regarding the proposed high density of 26 units per acre by suggesting the Village has "identified this as a more transit-oriented and higher-density location as part of the Prairie View (plan)," referencing (I presume) the Prairie View Metra Station Area Plan that was created and adopted in 2019, prior to the pandemic (which was discussed in the Village Board agenda materials). I do not quarrel with the notion that the developer's proposal superficially follows from the Prairie View Metra Station Area Plan and the TOD concepts it embraced. The question is whether that viewpoint, seemingly valid in 2019, is now outdated.

My historical cynicism toward Transit Oriented Development (TOD) along the North Central Line (NCS) is not a secret, to say the least. But even when I was railing against greedy developers misusing the TOD label for improper purposes and in unjustifiable contexts, I did not foresee the way in which current circumstances have rendered the very notion of any TOD along the NCS a *non sequitur*. The core TOD concept involves a self-contained and sustainably walkable neighborhood with critical access to convenient (walk-to) amenities, mass transit and other services. The availability of walk-to mass transit, providing an alternative to using single-occupancy vehicles to travel to work, entertainment, shopping and other destinations, is critical to a TOD's success, and underlies the rationale for higher densities. TOD was always a somewhat questionable concept along the NCS, specifically, given its limited schedule, which contravenes the very core TOD "transit" concepts. The Prairie View Metra Station Area Plan overcame that concern with an optimistic perspective on prospective commuting patterns that seemed ostensibly justifiable at that time. Then came Covid-19, which ushered in a new era of concern for avoiding transmission of a highly contagious and potentially deadly virus, and the necessary transition of many commuters to a full or at least hybrid remote working environment. For many, it seems, the days of regular commuting to a loop office are gone and unlikely to return, at least not any time soon. When Covid-19 turned our lives upside down, sadly, it also rendered plans (like the 2019 Prairie View Metra Station Area Plan) that were based on conditions and expectations existing prior to the pandemic, obsolete.

The TOD concept and its rationale supporting extra-high density residential development around mass transit simply crumbles in a moribund commuting environment. The TOD label then becomes a vain and hollow platitude selfishly offered by developers to justify concepts that maximize their profit without any of the intended benefits for future residents or the community at large. Too often in the past our Village has seen developers tout proposals in the name of TOD merely because a parcel on which they sought to jam unduly high density development (and little or nothing more by way of amenities) was somewhat proximate to the train tracks. Fortunately, due to the thorough and thoughtful work of the PCZ and Village Boards in place at those times most of those overly greedy charlatans were appropriately rebuffed.

The unfortunate bottom line here, which shows the fallacy of the TOD concept near the Prairie View station, is the fact that there is barely any service on the NCS line, or at that station. Further, ridership levels on the NCS, and Metra generally, also have dramatically deteriorated, even in pre-pandemic years, but definitely since the onset of Covid-19. Common sense suggests, moreover, that the declining ridership trend is unlikely to

change in a post-Covid world where remote working is the rule, rather than the exception, and fewer commuters than ever are using mass transit to get from the suburbs into the loop for work.

Service began on the NCS in August 1996 with an underwhelming schedule of 20 trains each weekday, 10 in each direction. That service level was actually less than what Metra promised to communities when it sought and received local investment in related infrastructure. The NCS did not (and never has) provided weekend or holiday service. Roughly 10 years later, on September 11, 2006, NCS service expanded from 20 daily trains to 22 trains when Metra split one rush-hour local train in each direction into two (phony) “express” trains. On February 5, 2018, however, that “improvement” was reversed, and service was reduced from 22 trains back to 20 trains per day. For the past several years, moreover, NCS service has been limited only to rush hours. As of September 7, 2021, Metra operated only six inbound trains and six outbound trains on the NCS on for weekday rush hours. Of those, four inbound trains originate from Antioch and two from the Buffalo Grove station. Two outbound trains terminate at the Buffalo Grove station and four at Antioch. That means a grand total of four inbound and four outbound trains stop at the Prairie View station each weekday. And, of course, there still is no service on weekends or holidays.

Metra’s published ridership figures for the NCS paint a dismal picture. Ridership on the NCS peaked in 2014. Between 2014 and 2019, annual ridership declined 12.5% from 1,817,335 to 1,589,905. During the pandemic, moreover, ridership dropped precipitously to a mere 340,682 passengers in 2020. That is just 1,310 passengers each day.

I do not contest the premise of the 2019 Plan that developments in reasonable proximity to active train stations are benefited to some extent by their location, and vice-versa, or its then seemingly reasonable view of commuting patterns. But the world has changed. The critical transit component of TOD essentially does not exist today for the NCS and its Prairie View station. And the ridership levels do not remotely justify extra consideration in terms of planning and zoning (i.e., TOD bonus densities).

I offer these thoughts not to condemn in advance the proposal. But instead to urge the PCZ, on behalf of the Village, to scrutinize the proposal carefully and to work to ensure that it stands on its own merits, rather than with an artificial and unwarranted density enhancement merely because in 2019 the area seemed ripe for TOD style development. Otherwise, we risk saddling the community with an island of bonus density residential

lacking any other mixed uses or amenities, merely because the parcel is proximate to the underutilized train tracks, and the area was conceptualized for possible TOD in a different era when people were actually using the train.

I thank you in advance for your consideration, and I wish you luck in your deliberations.

Best regards,

Jeff Berman

01/19/2022

**MINUTES OF THE REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION OF THE
VILLAGE OF BUFFALO GROVE HELD IN THE COUNCIL CHAMBERS, 50 RAUPP BOULEVARD,
BUFFALO GROVE, ILLINOIS ON WEDNESDAY, JANUARY 19, 2022**

Call to Order

The meeting was called to order at 7:30 PM by Chairman Frank Cesario

2. Open Meetings Act Compliance

Pursuant to orders issued in response to the COVID-19 pandemic, this Public Hearing is closed to in-person, public attendance. The hearing is being held via Zoom web conference meeting, which permits the public to fully participate in the virtual Public Hearing via Zoom on a computer, tablet or phone. Details on how to access and participate in this online virtual hearing are available below. More information pertaining to the meeting information and links to the virtual meeting can be found at

You are invited to a Zoom webinar.

When: Jan 19, 2022 07:30 PM Central Time (US and Canada)

Topic: PZC

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/81173471387?pwd=Z3AwbXI4aTNIbzFOUjhMc01jQ3NPZz09>

Passcode: 976458

Or One tap mobile :

*US: +13126266799,,81173471387#,,,,*976458# or
+19294362866,,81173471387#,,,,*976458#*

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

*US: +1 312 626 6799 or +1 929 436 2866 or +1 301 715 8592 or +1 346 248 7799
or +1 669 900 6833 or +1 253 215 8782*

Webinar ID: 811 7347 1387

Passcode: 976458

International numbers available: <https://us02web.zoom.us/j/81173471387?pwd=Z3AwbXI4aTNIbzFOUjhMc01jQ3NPZz09>

Public Hearings/Items For Consideration

1. Consider a Variation to Allow for a Driveway to Exceed the Maximum Coverage at 811 Summer Ct. (Trustee Pike) (Staff Contact: Nicole Woods)

Mr. Wasam, petitioner's attorney, was sworn in.

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Ms. Woods, Community Development Director, provided a brief overview and update on the petition for the stop work order for a driveway at 811 Summer Ct.

Mr. Wasam added additional comments regarding the driveway at 811 Summer Ct.

Com. Weinstein asked staff if the Planning and Zoning Commission had the ability to grant or deny the petitioner's request.

Mr. Brankin said that it is a request to the Village Board.

Com. Weinstein asked when the homeowner acquired the property.

Mr. Wasam said that he believes the homeowner acquired the property in 2008.

Com. Weinstein referenced page 10 of the Staff Report.

Com. Weinstein commented on the unique situation that involves the gate and the fence, referencing packet page 20 of the staff report.

Mr. Wasam said his client wanted a wide enough area to roll out his garage cans. He also did not want the gate running along the grass. Mr. Wasam added that the client believed it looks aesthetically pleasing.

Com. Weinstein said the client was asking for much more than what was necessary. He commented, that outside of the grading issues, the client has made no changes since the previous meeting.

Mr. Wasam commented that there will be concrete pulled up to fix the grading issue, but other than that the proposal stands as is.

Ms. Woods, Community Development Director, commented to clarify that even with the new pour, the petitioner will still exceed the maximum requirement.

Mr. Sianis, Buffalo Grove Civil Engineering II, confirmed Ms. Woods statement. Mr. Sianis added that the new pour of concrete will cover roughly the same area but be on a slope instead to drain water from the rear yard to the front yard.

Chairperson Cesario commented on the hardship outlined by the petitioner. He asked if the client could roll the garbage cans down the driveway prior to the work they conducted on the expanded driveway.

Mr. Wasam said he believed his client could roll the garbage cans down the driveway prior to the expanded driveway.

Chairperson Cesario clarified that the original purpose for the expanded driveway was to make it more aesthetically pleasing, not for the gate or the garbage cans.

Mr. Wasam said he believed that was an accurate statement.

Com. Moodhe asked if the client would provide final plans if it was approved.

Mr. Wasam said yes.

Com. Moodhe referenced the previous meeting on December 1, 2021, where he asked to see final plans today. He noted that those were not provided today, January 19, 2022.

Mr. Wasam said he has no proposal at this point.

Com. Moodhe asked if there were any revisions to the initial statements provided by the petitioner that are referenced on packet page 20 of the Staff Report.

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Mr. Wasam said there have been no updates.

Com. Moodhe asked if it's the client's opinion that the driveway changes fit in with the neighborhood.

Mr. Wasam said yes.

Com. Richards asked if the original driveway was already out of code.

Mr. Wasam said he looked at the numbers that were provided to him, and based on his calculations, the driveway was already outside of the 40 percent.

Com. Richards asked staff if they inspect driveways in new developments.

Ms. Woods, Community Development Director, said yes. She added background on the permit process and inspection process for new builds.

Com. Richards clarified that the driveway, before the expansion, met code. The expansion put the driveway over the maximum requirement of 40 percent.

Ms. Woods, Community Development Director, said yes.

Com. Spunt asked if any of the neighbors called.

Ms. Woods said calls were made, but nothing since the December 1, 2021, meeting.

Com. Moodhe asked if the plat of survey was attached.

Ms. Woods said yes, packet page 6.

Com. Moodhe asked if there is another plat that shows the other additions to the property.

Ms. Woods said the Village does not have any plats outside of the one attached to the packet.

Mr. Wasam said he asked his client if he received a plat of survey when he acquired the property and his client said he did not.

Com. Au asked for clarification on the fence issues.

Ms. Woods, Community Development Director said the fence will be lowered to meet code and will be enforced by property maintenance. She added, the fence is only part of the petition because it was used as a cause to expand the driveway.

Chairperson Cesario entered the staff report as exhibit one.

Mr. Wasam thanked the commission for their time.

Public Hearing was closed at 8:02 PM.

Com. Weinstein made a motion to recommend approval to the Village Board to grant the variation which would allow a driveway expansion that would exceed the required front yard coverage by 5.12% based on failure to meet the variation standards.

Com. Richards seconded the motion.

Chairperson Cesario spoke against the motion.

Com. Au spoke against the motion.

Com. Moodhe spoke against the motion.

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Com. Weinstein spoke against the motion.

Com. Spunt asked what happens next.

Ms. Woods, Community Development Director, explained what happens next.

Mr. Sianis, Buffalo Grove Civil Engineering II, went over the drainage issues one last time as the purpose for the removal of the expanded driveway whether the variance would be approved or not.

Mr. Brankin, Village Attorney, added that the petitioner has been given many opportunities to make changes to their plans to comply and have not done so to date. Noting that Mr. Wasam's client stands by his original request.

RESULT:	RECOMMENDATION TO APPROVE [0 TO 7]
	Next: 2/22/2022 7:30 PM
NAYS:	Moodhe, Spunt, Cesario, Weinstein, Au, Richards, Worlikar
ABSENT:	Zill Khan
EXCUSED:	Stephen Goldspiel

Regular Meeting

Other Matters for Discussion

Approval of Minutes

1. Planning and Zoning Commission - Regular Meeting - Dec 15, 2021 7:30 PM

RESULT:	ACCEPTED [UNANIMOUS]
AYES:	Moodhe, Spunt, Cesario, Weinstein, Au, Richards, Worlikar
ABSENT:	Zill Khan
EXCUSED:	Stephen Goldspiel

2. Planning and Zoning Commission - Regular Meeting - Dec 1, 2021 7:30 PM

RESULT:	ACCEPTED [UNANIMOUS]
AYES:	Moodhe, Spunt, Cesario, Weinstein, Au, Richards, Worlikar
ABSENT:	Zill Khan
EXCUSED:	Stephen Goldspiel

Chairman's Report

Chairperson Cesario provided his comments.

Committee and Liaison Reports

Staff Report/Future Agenda Schedule

Ms. Woods provided details on current projects and the future agenda schedule.

Public Comments and Questions

Adjournment

The meeting was adjourned at 8:23 PM

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Chris Stilling

APPROVED BY ME THIS 19th DAY OF January, 2022

Minutes Acceptance: Minutes of Jan 19, 2022 7:30 PM (Approval of Minutes)