



AGENDA

PLANNING AND ZONING COMMISSION

Regular Meeting: December 3, 2025 at 7:30 PM
Jeffrey S. Braiman Council Chambers
Fifty Raupp Blvd, Buffalo Grove, IL 60089

1. Call to Order

2. Public Hearings/Items for Consideration

Public Comment is limited to items that are on the agenda for discussion. In accordance with Section 2.02.070 of the Municipal Code, discussion on questions from the audience will be limited to 5 minutes and should be limited to concerns or comments regarding issues that are relevant to Planning and Zoning Commission business. All members of the public addressing the Planning and Zoning Commission shall maintain proper decorum and refrain from making disrespectful remarks or comments relating to individuals. Speakers shall use every attempt to not be repetitive of points that have been made by others. The Planning and Zoning Commission may refer any matter of public comment to the Village Manager, Village staff or an appropriate agency for review.

- A. Consideration of a variation from the Village Zoning Ordinance, Section 17.40, for the purpose of constructing an addition that would encroach into the 40-foot rear yard setback by approximately 7.5 feet, at 1924 Beverly Lane (Trustee Ottenheimer, Andrew Binder)
- B. Consideration of an amendment to the Planned Development approved by Ordinance No. 2022-092, as amended by Ordinance No. 2024-007, and Sign Variations for Veterinary Emergency Group (VEG) at 43 McHenry Road (Trustee Ottenheimer, Andrew Binder)

3. Regular Meeting

- A. Other Matters for Discussion
- B. Approval of Minutes
 - 1. Draft Minutes from the November 19, 2025 Planning and Zoning Commission Meeting
- C. Chairperson's Report
- D. Committee and Liaison Reports
- E. Staff Report/Future Agenda Schedule
- F. **Public Comments and Questions**
All comments will be limited to 5 minutes and should be limited to concerns or comments regarding issues that are relevant to Planning and Zoning Commission business and not on the regular agenda for discussion.

4. Adjournment

The Planning and Zoning Commission will make every effort to accommodate all items on the agenda by 10:30 P.M. The Commission does, however, reserve the right to defer consideration of matters to another meeting should the discussion run past 10:30 P.M.

The Village of Buffalo Grove, in compliance with the Americans with Disabilities Act, requests that persons with disabilities who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities, contact the ADA Coordinator at 847-459-2500 to allow the Village to make reasonable accommodations for those persons.

[IGNORE_INDENT]





AGENDA ITEM SUMMARY

PLANNING AND ZONING COMMISSION

Regular Meeting: December 3, 2025

AGENDA ITEM 2.A.

Consideration of a variation from the Village Zoning Ordinance, Section 17.40, for the purpose of constructing an addition that would encroach into the 40-foot rear yard setback by approximately 7.5 feet, at 1924 Beverly Lane

Contacts

Liaison: Trustee Ottenheimer

Staff: Andrew Binder

Staff Recommendation

Staff recommends approval.

Recommended Motion

PZC moves to grant a variation to Section 17.40.020 of the Buffalo Grove Zoning Ordinance to allow the proposed addition to encroach into the rear yard setback at 1924 Beverly Lane, subject to the following conditions:

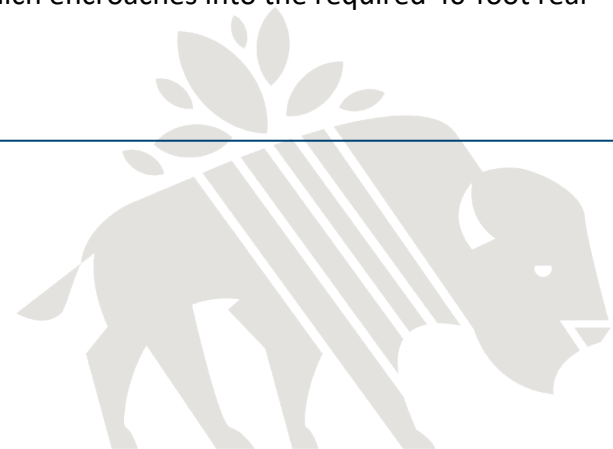
1. The proposed addition shall be installed in accordance with the documents and plans submitted as part of this petition

Summary

The Petitioner, on behalf of the property owner, is requesting a variation to construct a family room addition with a covered porch, part of which encroaches into the required 40-foot rear yard setback.

File Attachments

1. 1924 Beverly Ln - Staff Report
2. 1924 Beverly Ln - Plan Set





VILLAGE OF BUFFALO GROVE PLANNING & ZONING COMMISSION STAFF REPORT

Meeting Date:	December 3, 2025
Subject Property Location:	1924 Beverly Lane, Buffalo Grove, IL 60089
Petitioner:	Sam Kang (Architect), Airoom, LLC
Prepared By:	Andrew Binder, Associate Planner
Request:	The petitioner seeks a variation from the Village Zoning Ordinance, Section 17.40 pertaining to the Residential Districts, for the purpose of constructing an addition that would encroach into the 40-foot rear yard setback by approximately 7.5 feet, at 1924 Beverly Lane.
Existing Lane Use and Zoning:	The property is improved with a single-family home currently zoned R-3.
Comprehensive Plan:	The Village Comprehensive Plan calls for this property to be single-family, detached.

PROJECT BACKGROUND

The Petitioner, on behalf of the property owner, is requesting a variation to construct a family room addition, with a covered porch, a portion of which encroaches into the required rear yard setback at 1924 Beverly Lane, as shown in Figure 1. The R-3 Zoning District requires a 40' rear yard setback; a variation is necessary to install the addition within the required setback as proposed.

PLANNING & ZONING ANALYSIS

- The petitioner proposes to construct a one-story family room addition with a covered porch in the rear yard of the property. The family room extension will be 478.5 square feet and will match the existing home's siding and roofing materials. The covered porch will be constructed to the east of the family room addition and will be 226 square feet. The height of the addition will be 18.2 feet and will not exceed the height of the existing two-story house.

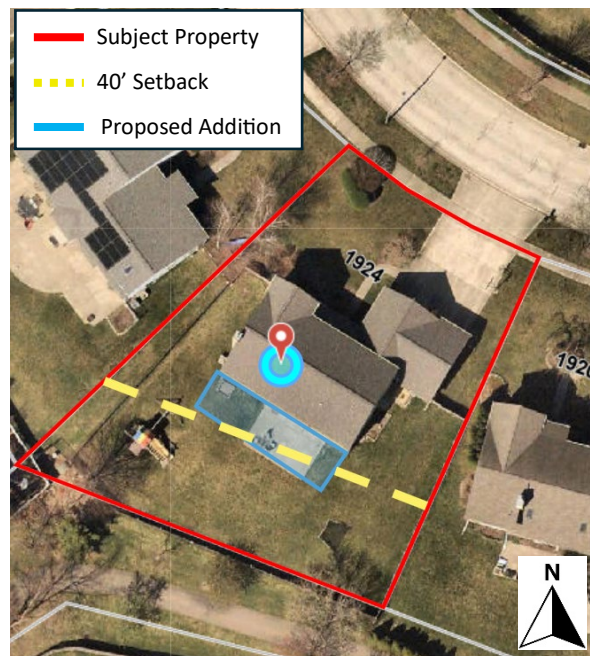


Figure 1: Subject Property

- The covered porch will encroach approximately 7.5 feet into the 40-foot rear yard setback and will be approximately 32.9 feet from the rear property line. The family room will encroach approximately 4.7 feet into the rear yard setback and will be situated approximately 35.4 feet from the rear property line. Due to the house's orientation relative to the rear property line, only 93 square feet of the porch and 65 square feet of the family room addition will encroach within the required setback area, as shown in Figure 2. The addition will be setback approximately 18.6 feet from the west and 30.8 feet from the east property lines, both exceeding the 7.1-foot minimum side yard setback and aligning with the existing house.

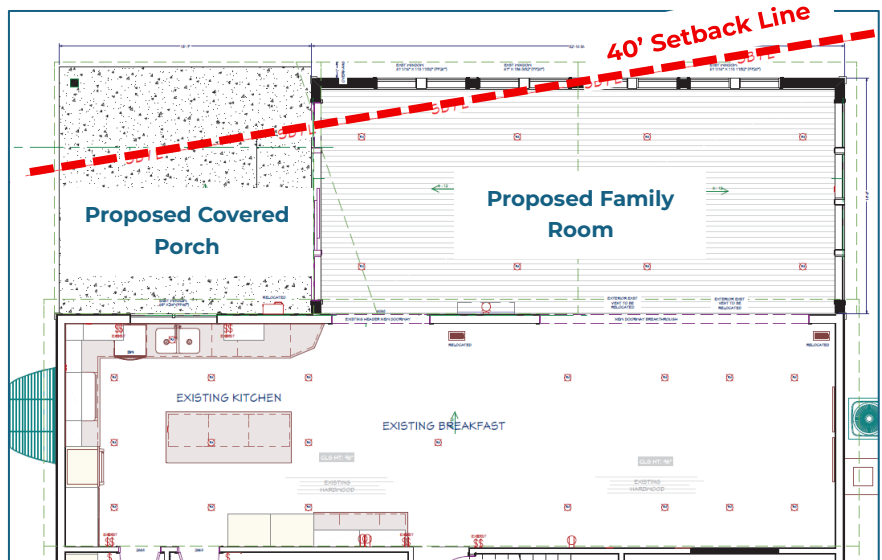


Figure 2: Proposed Addition

- The petitioner has noted that the homeowner wants to expand their house because the family room is too small and plans to modify the layout to create more space by adding an extension. The petitioner indicated that they see the addition as reasonable and that, due to the lot's irregular shape and the house's orientation, which is not aligned parallel to the rear lot line, the rear yard setback encroachment will be minimal, as only a triangular portion of the addition will extend into the rear yard setback.

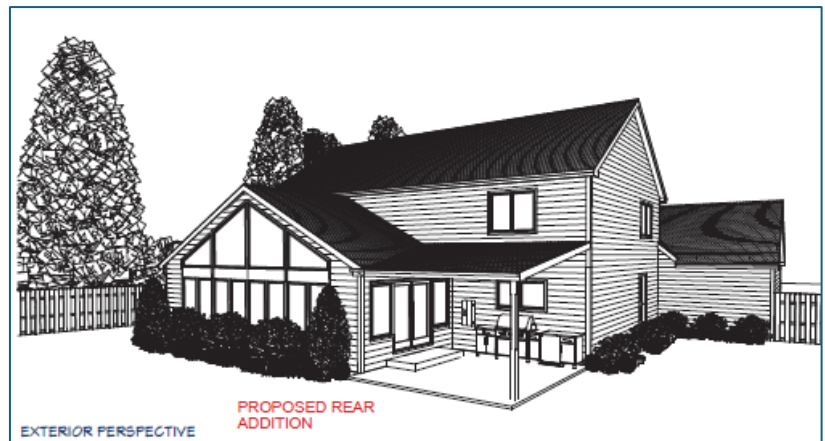


Figure 3: Rendering of Addition and Covered Porch

- The Planning and Zoning Commission is allowed to grant variations for encroachment requests of up to 33% of the 40-foot setback requirement. In this case, the proposed rear yard encroachment of 7.5 feet represents 18.6% of the required rear yard setback and would fall within the PZC's purview to grant.
- The addition meets all other zoning requirements except for the requested variation and does not impact any easements. Staff believes the request is minimal, and reasonable due to the home's orientation and the skewed rear property line. Additionally, the proposed addition will coordinate with the existing design of the home and will not change the neighborhood's character. It is also

worth mentioning that there is a bike path that runs behind the home that provides an additional buffer and significant space between the subject property and adjacent properties to the rear.

VARIATION(S) REQUESTED

A rear yard setback variation from Section 17.40.020 of the Buffalo Grove Zoning Code to allow the encroachment of the three-season addition.

DEPARTMENTAL REVIEWS

Village Department	Comments
Building	The Village's building division reviewed the plans and does not have any concerns.
Engineering	The Village's engineering team reviewed the plans and has minor concerns that will be addressed during the permit review process.

STANDARDS

The regulations of this Title shall not be varied unless findings of fact are made based upon evidence presented at the hearing that:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the zoning district in which it is located except in the case of residential zoning districts;
2. The plight of the owner is due to unique circumstances;
3. The proposed variation will not alter the essential character of the neighborhood.

The petitioner has provided a written response to the variation standards included in this packet.

SURROUNDING PROPERTY OWNERS

Pursuant to Village Code, the contiguous property owners were notified, notice was published in a local newspaper, and a public hearing sign was posted on the subject property. The posting of the public hearing sign, publication in the newspaper, and the mailed notifications were completed within the prescribed timeframe as required. As of the date of this Staff Report, the Village received one comment from an adjacent property owner regarding the requested variation, which is included in the packet.

STAFF RECOMMENDATION

Staff recommends **approval** of the variation request for an addition to encroach into the rear yard setback, subject to the conditions listed in the PZC motion due to the proposed addition being minimal, complying with all other zoning requirements, it will not alter the character of the area, and having a bike path to the rear of the home provides additional buffer space between adjacent properties.

ACTION REQUESTED

The Planning & Zoning Commission (PZC) shall open the public hearing and take public testimony concerning the variation. The PZC shall make a final decision on whether to approve the variation. If the PZC denies the request, it can be appealed to the Village Board.

Suggested PZC Motion

PZC moves to grant a variation to Section 17.40.020 of the Buffalo Grove Zoning Ordinance to allow the proposed addition to encroach into the rear yard setback at 1924 Beverly Lane, subject to the following conditions:

- 1) The proposed addition shall be installed in accordance with the documents and plans submitted as part of this petition.*

ATTACHMENTS

- Petitioner's Narrative & Response to Variation Standards
- Plat of Survey
- Architectural Plans
- Public Comment Email

11/4/2025

To: Planning and Zoning Commission
Village of Buffalo Grove
50 Raupp Blvd, Buffalo Grove, IL 60089

Re: Alai Menaka & Ramachandran Bhaskar Residence
Rear Setback Variation Request
1924 Beverly Lane

We are requesting a variation to construct a one-story family room addition with a roofed porch adjacent to it that encroaches into the rear yard setback at 1924 Beverly Lane. Mr Bhaskar and Mrs. Menaka have two young children. They like their neighborhood and plan on living at this home a long time. Existing Family Room size is smaller and not conducive for larger gatherings with family and friends, therefore, they would like to extend their Family Room space. This property has an existing concrete patio in the rear yard, and the proposed addition will replace it. The addition will be approximately same width as the existing rear portion of the house. The R-3 Zoning District requires a 40 feet rear setback. A variation to reduce the rear setback is necessary to install the addition within the required setback. The proposed addition including the roofed porch will be 14'-6" deep x 48'-7" wide x 18'-2" high to peak of the gable roof. Due to the irregular shaped lot and orientation of the house, the existing building not built parallel with the rear lot line, a triangular portion of the addition will be encroaching into the rear setback. The encroachment is approximately 7'-2" into the required 40' setback line, which is 17.9% reduction at the south-east corner. The area of encroachment for the family room is 65 square feet and the roofed porch will be 93 square feet for total area of encroachment of 158 square feet. The proposed addition meets all other zoning requirements except for the rear setback. There are no trees impacted by the proposed addition. The rear property line is adjacent to a public bike path easement which is approximately 30 or more feet in width.

We believe we meet the three criteria for zoning variation as responded below:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the zoning district in which it is located except in the case of residential zoning districts.

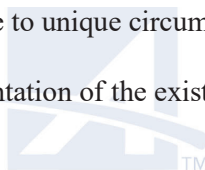
Response:

Due to the irregular shape of the lot and orientation of the existing home a reasonably sized Family Room addition at rear cannot be obtained with current require rear setback of 40'. The southwest rear corner would be within the 40' setback but the southeast corner will encroach into the required setback approximately 7'-2" which will require a 32'-10" setback at that corner. We are requesting approximately 17.9% reduction in rear yard setback as shown on the proposed site plan. The entire addition will not be encroaching the full amount due to the orientation of the house to the rear lot line.

2. The plight of the owner is due to unique circumstances.

Response:

The irregular shape lot and orientation of the existing home is a unique circumstance to this lot.



3. The proposed variation will not alter the essential character of the neighborhood

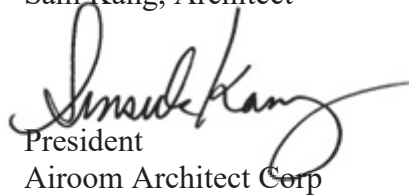
Response:

The proposed rear addition will not alter the essential character of the neighborhood as it will not be visible from the front and the one-story addition will have no impact to rear neighbors.

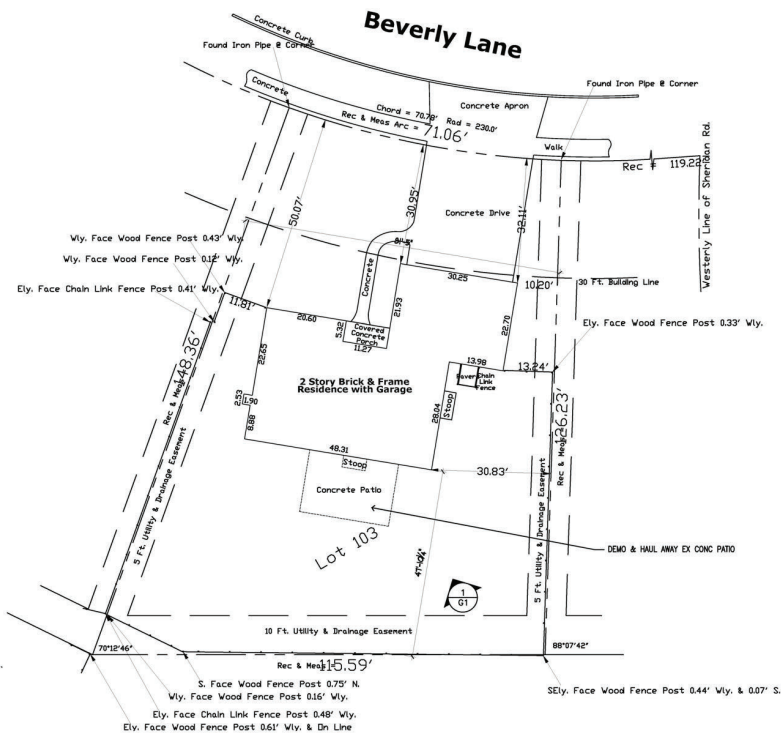
Pictures of property:



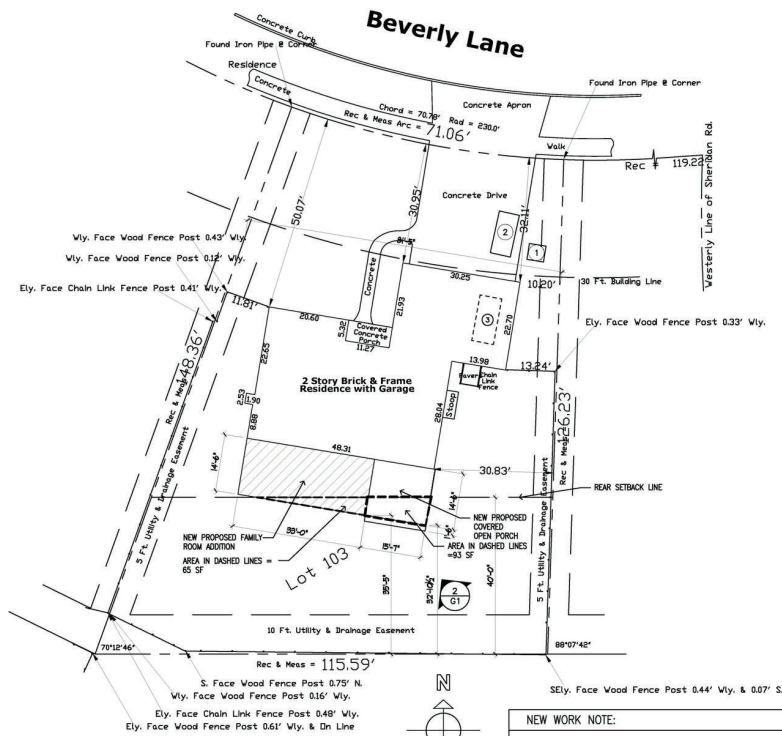
Sam Kang, Architect


 President
 Airoom Architect Corp





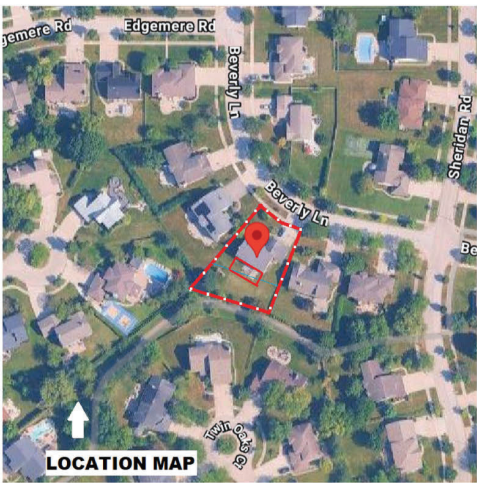
1 DEMO SITE PLAN
1" = 15'-0"



2 NEW SITE PLAN
1" = 15'-0"

NEW WORK NOTE:

- PROMOTE TEMP. SANITARY FACILITY FOR WORKERS DURING CONSTRUCTION. MINIMUM 10'-0" FROM NEIGHBORING LOTS IF POSSIBLE. VIF LOCATION ON SITE W/ BUYER.
- SUPERINTENDENT TO REVIEW ON SITE LOCATION FOR DAMPSTER TO REMOVE DEBRIS UPON COMPLETION OF CONSTRUCTION W/ BUYER.
- BUYER TO PROVIDE TEMPORARY STAGING AND STORAGE IN ONE BAY OF GARAGE.



LOCATION MAP

ZONING CLASSIFICATION		R-3 ONE FAMILY DWELLING DISTRICT			
BUFFALO GROVE ZONING		1924 BEVERLY LANE			
Bulk Regulations	REQUIRED OR ALLOWED	NOTES	EXISTING	PROPOSED	CHANGE AMOUNT OR AREA
Minimum Lot Sizes (Sq. Ft.)	10,000 Width: 80' at 106g, 116e		12,349 SF & WIDTH: 81.42 FT @ BLDG LINE	EXISTING	NO CHANGE
Maximum Height of Buildings and Structures	35' and not over 2 1/2 stories		28' & 2 STORIES	EXISTING	NO CHANGE
Minimum Front Yard Setback*	30'		30.95 FT	EXISTING	NO CHANGE
Minimum Interior Side Yard Setback	10% of lot width on each side but not less than 16' combined	10% OF 71.06 FT = 7.11 FT	10.20 FT & 11.81 FT, 22.01 FT COMBINED	EXISTING	NO CHANGE
Minimum Corner Side Yard Setback	30' but not less than 38' combined side yards	NA	NA	NA	NA
Minimum Rear Yard Setback	40'		41.87 FT	35'-0" TO FAMILY ROOM & 32'-10 1/2" TO OPEN PORCH ROOF	
Minimum Dwelling Standards**	1 story, 1,300 multi-level, 1,950		2 STORIES, 2853 SF	2 STORIES, 3328 SF	+ 475 SF

DEPARTMENT APPROVAL

AIRROOM
ARCHITECTS & BUILDERS
SINCE 1958
Airroom Architects Corp.
6825 N. Lincoln Avenue
Lincolnwood, Illinois 60712
Phone: (847) 783-1100 Fax: (847) 679-0445
Website: www.airroom.com Email: info@airroom.com

ISSUE DATES	DESCRIPTION
10/30/2025	SETBACK VARIATION

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CERTIFICATION STATEMENT:
I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code Information section, see sheet G1.0).

DATE SHOWN:

DATE: _____

BY: _____

DATE: _____

DATE: _____

PROJECT INFORMATION:
ALAI & RAMACHANDRAN
MENAKA & BHASKAR
1924 BEVERLY LANE
BUFFALO GROVE, IL 60089
(224) 381 - 3975
MENAKA.ALAI@GMAIL.COM

PROJECT NO:
250068

SHEET TITLE:
SITE PLAN

G1.1
X OF OK

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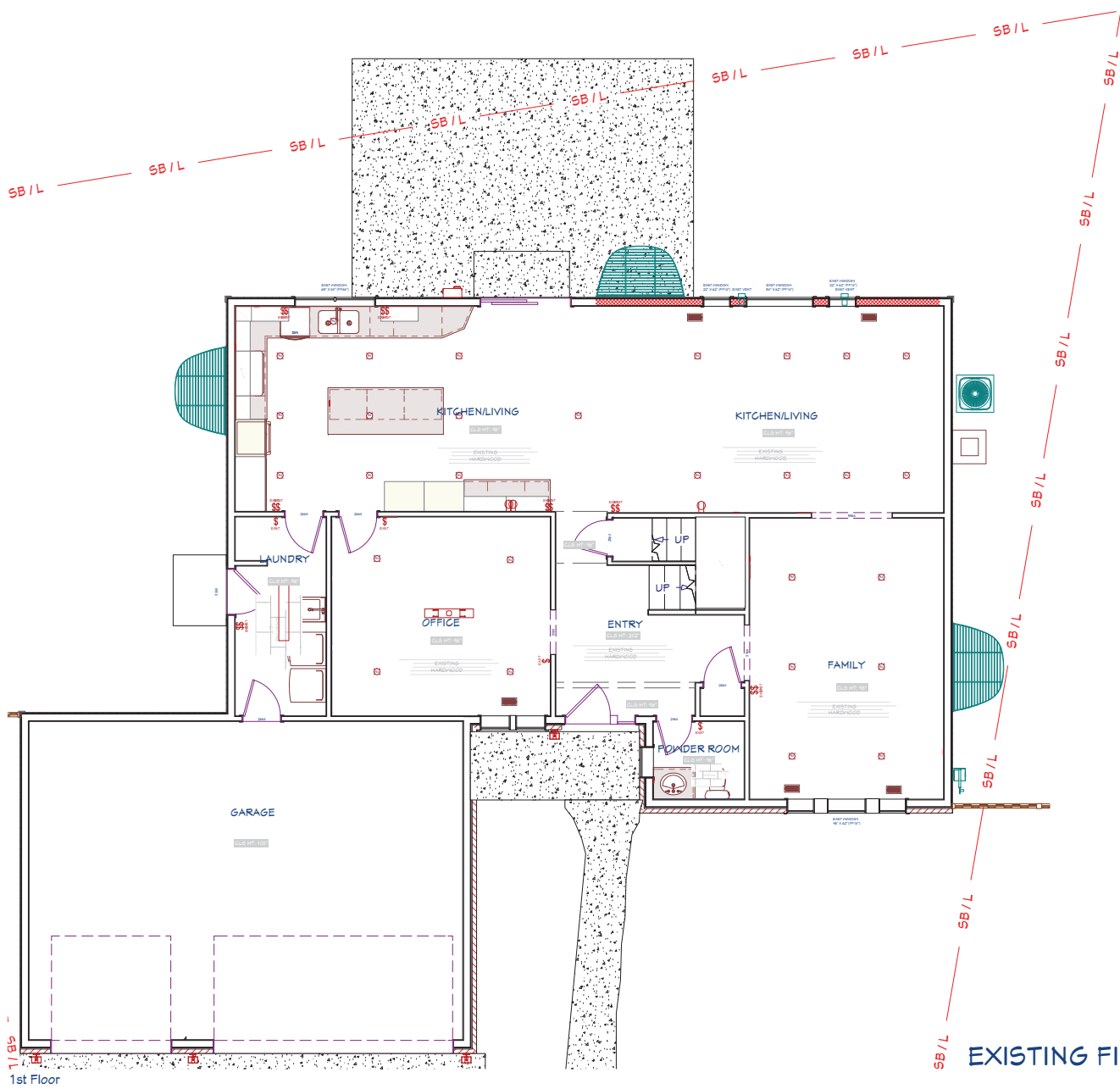
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BUFFALO GROVE, IL

DESIGNED BY:
BRAD SUMMERS
FRISCILLA ACOSTA
OCTOBER 23, 2025

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EXISTING FIRST FLOOR PLAN
SCALE: 1/4"=1'

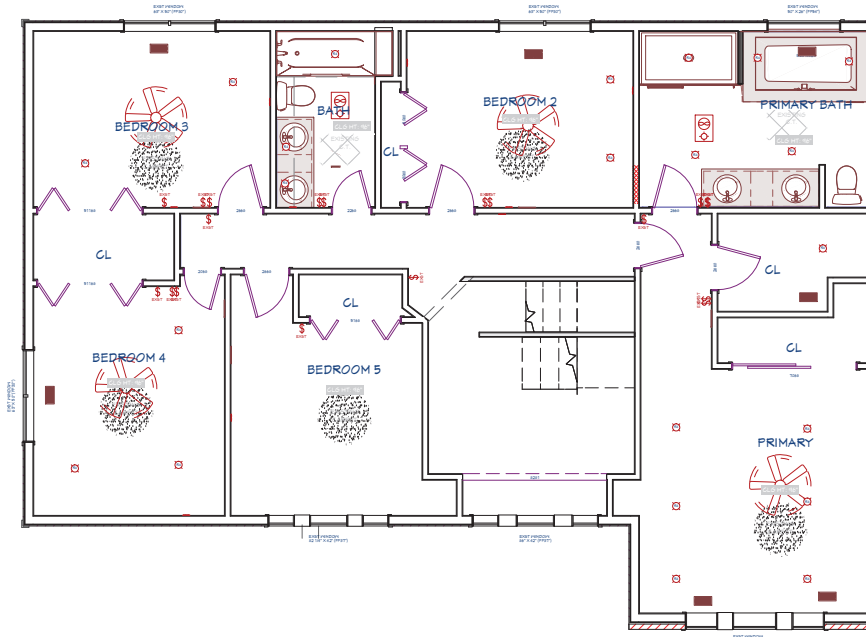
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OCTOBER 23, 2025

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2nd Floor

EXISTING SECOND FLOOR PLAN
SCALE: 1/4"=1'

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EXTERIOR FRONT ELEVATION



EXTERIOR BACK ELEVATION

EXISTING EXTERIOR ELEVATIONS
SCALE: 1/5"=1'

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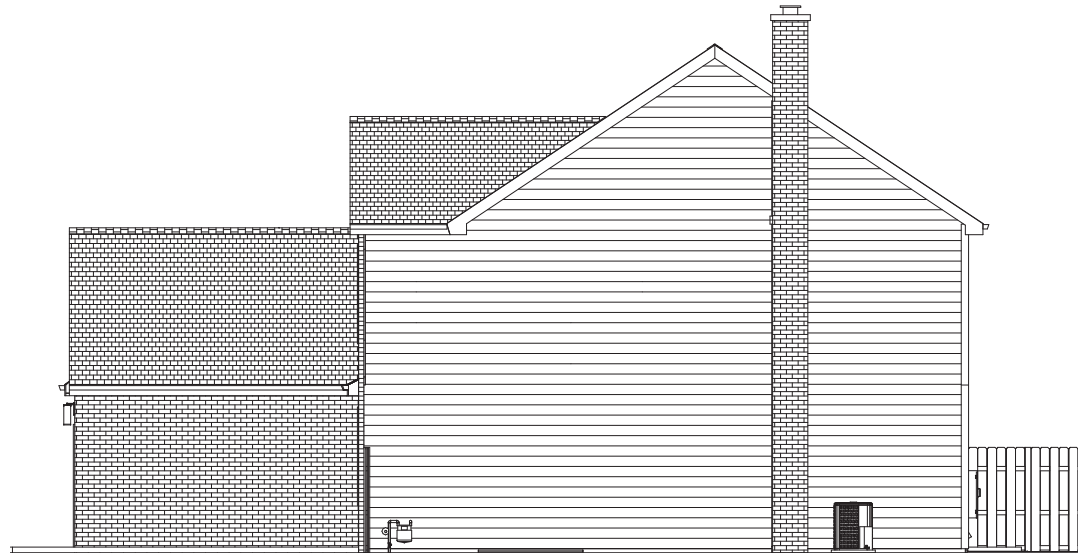
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EXTERIOR LEFT ELEVATION



EXTERIOR RIGHT ELEVATION

EXISTING EXTERIOR ELEVATIONS
SCALE: 1/5"=1'

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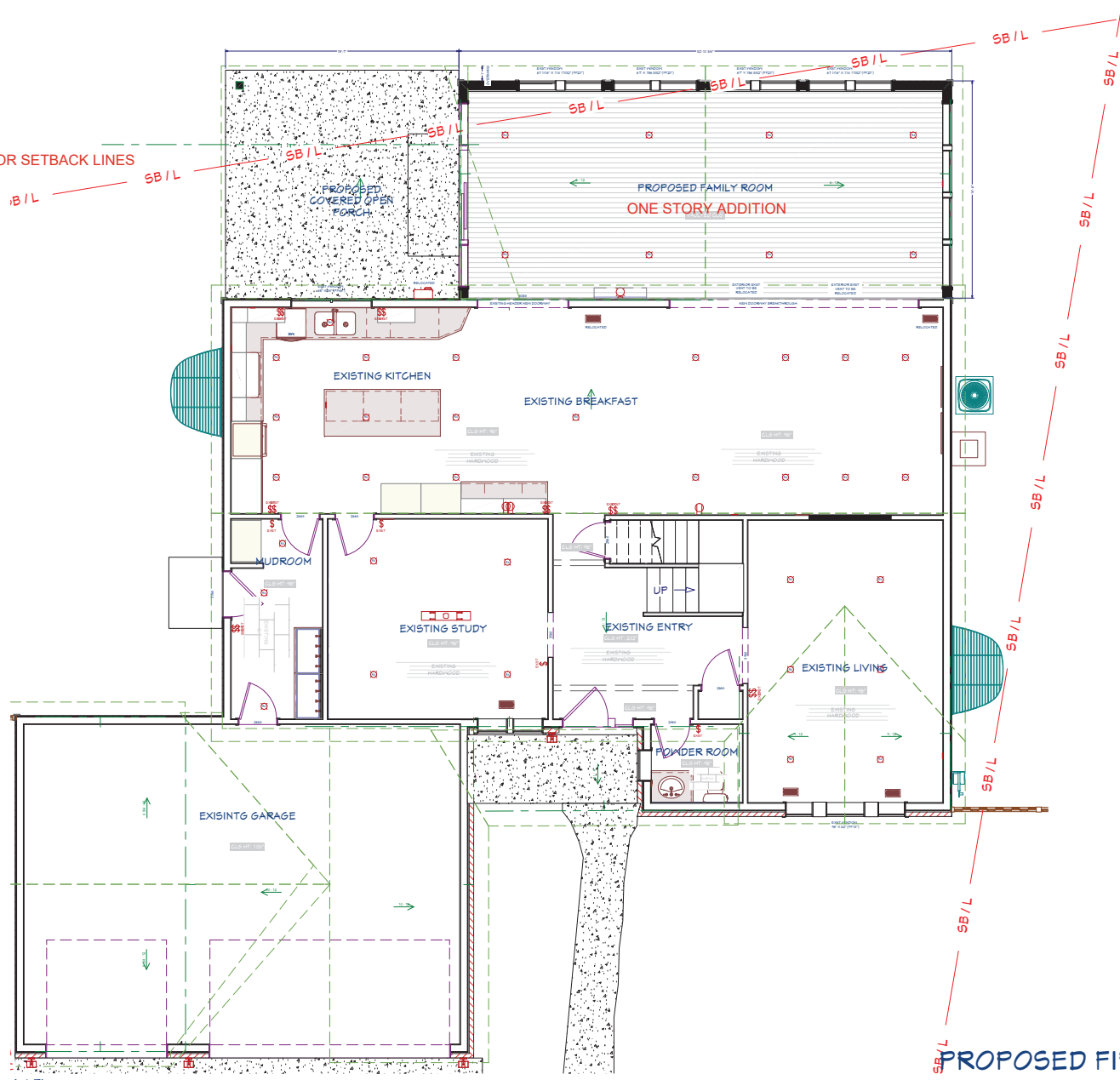
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SEE SITE PLAN FOR SETBACK LINES



PROPOSED FIRST FLOOR PLAN
SCALE: 1/5"=1'

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EXTERIOR FRONT ELEVATION

NO CHANGE



EXTERIOR REAR ELEVATION

PROPOSED REAR ONE STORY ADDITION

PROPOSED EXTERIOR ELEVATIONS - OP1
SCALE: 1/5"=1'

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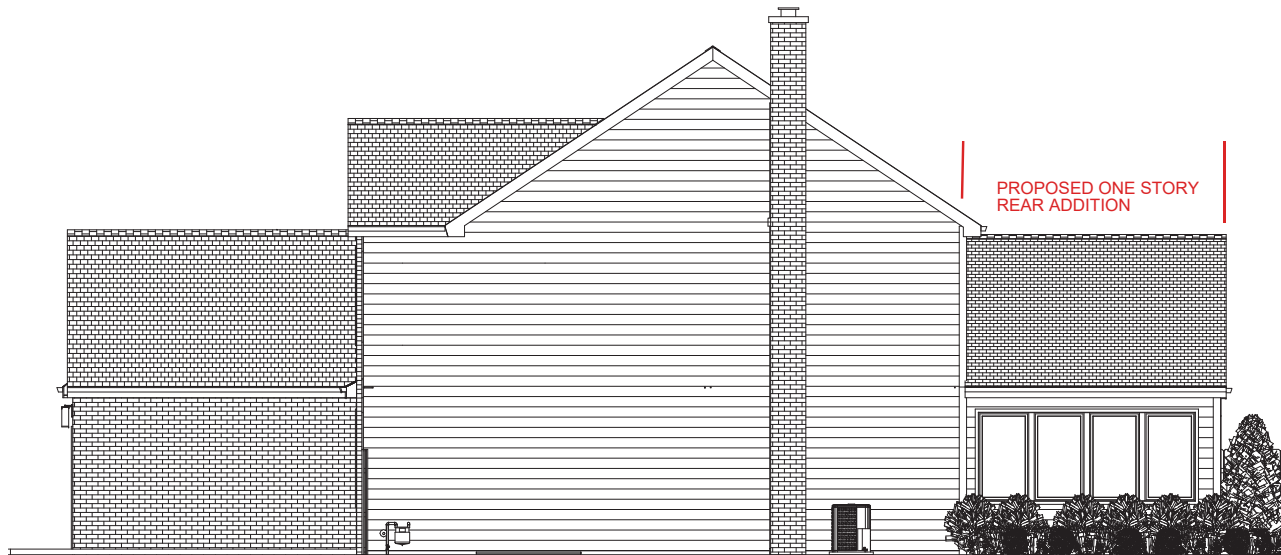
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EXTERIOR LEFT ELEVATION



EXTERIOR RIGHT ELEVATION

PROPOSED EXTERIOR ELEVATIONS - OP1
SCALE: 1/5"=1'

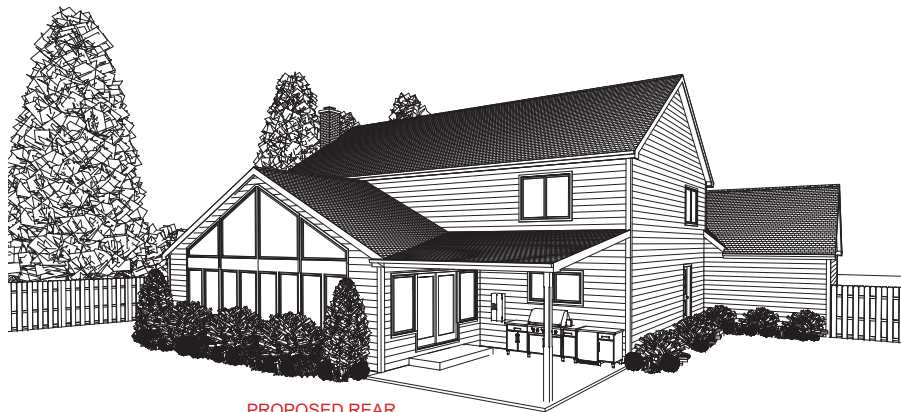
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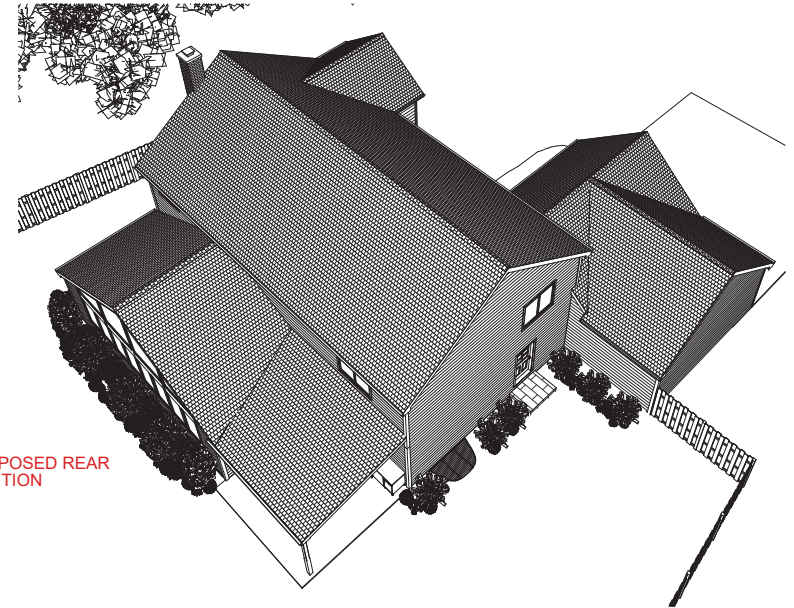
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EXTERIOR PERSPECTIVE

PROPOSED REAR ADDITION



PROPOSED REAR ADDITION

ORTHOGRAPHIC ROOF VIEW

PROPOSED EXTERIOR PERSPECTIVE - OP 1
SCALE: 1/5"=1'

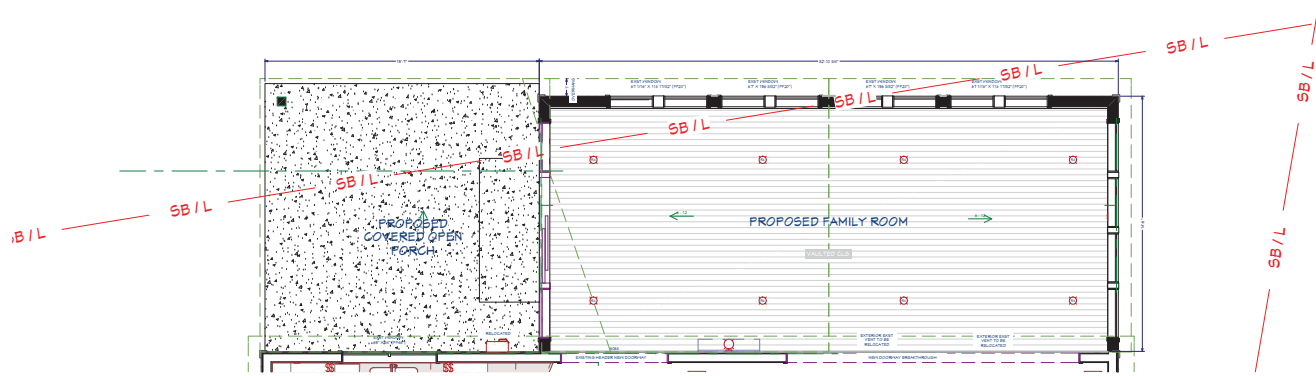
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ALAI RESIDENCE

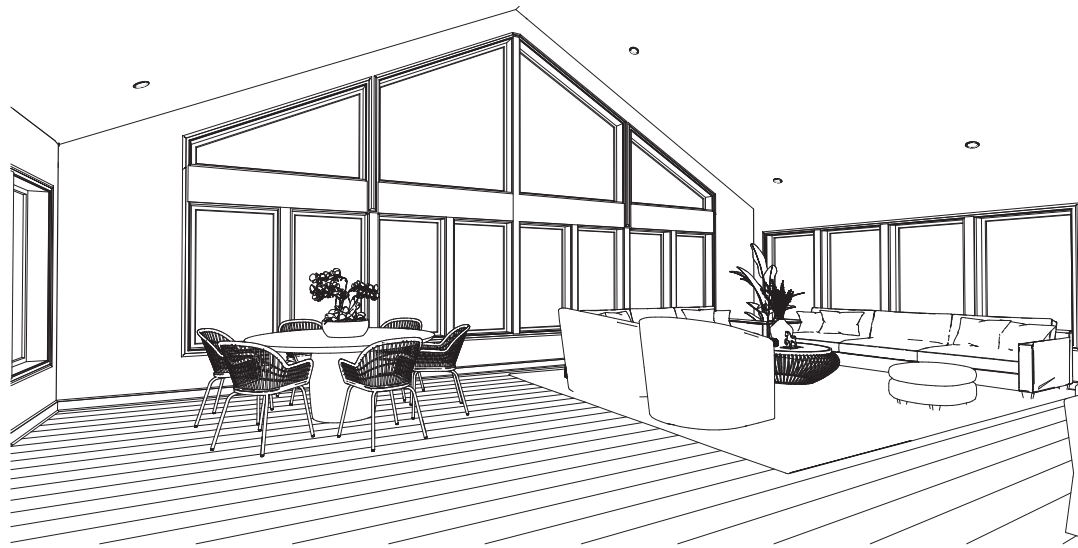
BUFFALO GROVE, IL

DESIGNED BY:
BRAD SUMMERS
FRISCILLA ACOSTA
OCTOBER 23, 2025

AIROOM 
ARCHITECTS · BUILDERS · REMODELERS
SINCE 1958



1st Floor



ADDITION PERSPECTIVE

PROPOSED ADDITION
SCALE: 1/5"=1'

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ALAI RESIDENCE

BUFFALO GROVE, IL

DESIGNED BY:
BRAD SUMMERS
FRISCILLA ACOSTA
OCTOBER 23, 2025



Re: Notice of Public Hearing Letter - Questions

Date Wed 11/19/2025 9:04 AM

To Andrew Binder <ABinder@vbg.org>

Hi Andrew,

Thank you for sending the plans.

I am the rear neighbor to 1924 Beverly, and I'm writing to express a concern regarding the proximity of the proposed addition to our shared rear area. Because the new family room will extend significantly closer to our yard and includes a full wall of windows, we anticipate a noticeable reduction in privacy and backyard openness.

I am not opposed to the homeowner improving their property, but due to the reduced setback, I respectfully request the Commission consider one or more of the following conditions:

- Modifying the rear-facing windows to reduce direct sightlines
- Using higher sill windows or transom-style windows
- Adding landscaping or evergreen screening along the rear of the addition
- Being mindful of lighting and noise orientation for the covered patio

These measures would help preserve privacy for both homes while still allowing the project to proceed.

I plan to attend the December 3rd meeting and speak briefly, but I wanted to document my comments in advance.

Thank you for your consideration.

If you have any questions please let me know.

Best regards,
Daniel

On Wed, Nov 19, 2025, 8:22 AM Andrew Binder <ABinder@vbg.org> wrote:

Hi Daniel,

Thank you for reaching out.

1924 Beverly is scheduled to go before the Planning and Zoning Commission for a rear yard setback variation. They are set to present at the December 3rd meeting at Village Hall at 7:30 PM. The meeting is open to the public. The submitted plans are attached.



AGENDA ITEM SUMMARY

PLANNING AND ZONING COMMISSION

Regular Meeting: December 3, 2025

AGENDA ITEM 2.B.

Consideration of an amendment to the Planned Development approved by Ordinance No. 2022-092, as amended by Ordinance No. 2024-007, and Sign Variations for Veterinary Emergency Group (VEG) at 43 McHenry Road

Contacts

Liaison: Trustee Ottenheimer

Staff: Andrew Binder

Staff Recommendation

Staff recommends approval.

Recommended Motion

The PZC moves to make a positive recommendation to the Village Board to allow an amendment to the Planned Development approved by Ordinance No. 2022-092, as amended by Ordinance No. 2024-007, with Sign Variations for Veterinary Emergency Group (VEG) at 43 McHenry Road, subject to the following conditions:

1. The proposed signage shall be installed in substantial conformance with the plans and documents submitted as part of the plan set.
2. Any directional or incidental signage added to the sign package shall be reviewed administratively by staff.

Summary

Veterinary Emergency Group (VEG) is requesting approval of an amendment to the Planned Development approved by Ordinance No. 2022-092, as amended by Ordinance No. 2024-007, including Sign Variations for VEG to remove and replace their wall signage at 43 McHenry Road. VEG is seeking to rebrand its business and proposes new signage for its tenant space to match its new corporate standards.

File Attachments

1. 43 McHenry Rd - Staff Report
2. 43 McHenry Rd - Plan Set



VILLAGE OF BUFFALO GROVE PLANNING & ZONING COMMISSION STAFF REPORT

Meeting Date:	December 3, 2025
Subject Property Location:	43 McHenry Road, Buffalo Grove, IL 60089
Petitioner:	David Mikel, Site Enhancement Services
Prepared By:	Andrew Binder, Associate Planner
Request:	The petitioner seeks approval of an amendment to the Planned Development approved by Ordinance No. 2022-092, as amended by Ordinance No. 2024-007, and Sign Variations for Veterinary Emergency Group (VEG) at 43 McHenry Road
Existing Lane Use and Zoning:	The property is currently improved with a two-tenant commercial building and is zoned B-3, Planned Business Center District.
Comprehensive Plan:	The 2009 Village of Buffalo Grove Comprehensive Plan calls for this property to be an office use

PROJECT BACKGROUND

David Mikel of Site Enhancement Services represents the property owner on behalf of Veterinary Emergency Group (VEG) and is requesting approval of an amendment to the Planned Development approved by Ordinance No. 2022-092, as amended by Ordinance No. 2024-007, with Sign Variations. VEG is proposing to remove and replace their wall signage at 43 McHenry Road, as shown in Figure 1. VEG is rebranding their business and proposing new signage for its tenant space that aligns with their new corporate standards.

Since the building and signage package was approved as part of the Northwest Community Health (NCH) Campus PUD, an amendment to the PUD and unified sign package is required to make the proposed signage changes. No other changes to the site or its use are proposed with this request.



Figure 1: Subject Property

SITE HISTORY

- In 2022, the Village Board approved Ordinance No. 2022-092 for a new two-tenant building at 41 & 43 McHenry Road for VEG and Wild Fork as an amendment to the NCH Campus PUD. The sign

package approved at that time included VEG wall signs on the north and south sides of the building and did not require any Sign Code variations.

- In 2024, the Village Board approved Ordinance No. 2024-007 for VEG to allow a wall sign on the building's east elevation, which required both an amendment to the PUD and the uniform sign package as well as variations from the Sign Code.

PLANNING & ZONING ANALYSIS

Signage

VEG plans to remove and replace its current signage to comply with their new corporate signage standards. The Petitioner is requesting an amendment to the previously approved sign package and the PUD, along with multiple variations from the Village's Sign Code. The petitioner proposes to remove and replace their three existing wall signs: one on the north elevation along Lake Cook Road, another on the south elevation at the main entrance to the tenant space, and a third on the east elevation along the site's access road, as shown in Figure 2.

While the variations required for the proposed signs are similar to those granted by Ordinance No. 2024-007, the removal and replacement of the signs requires that new variations be approved. The Petitioner is requesting the following variations:

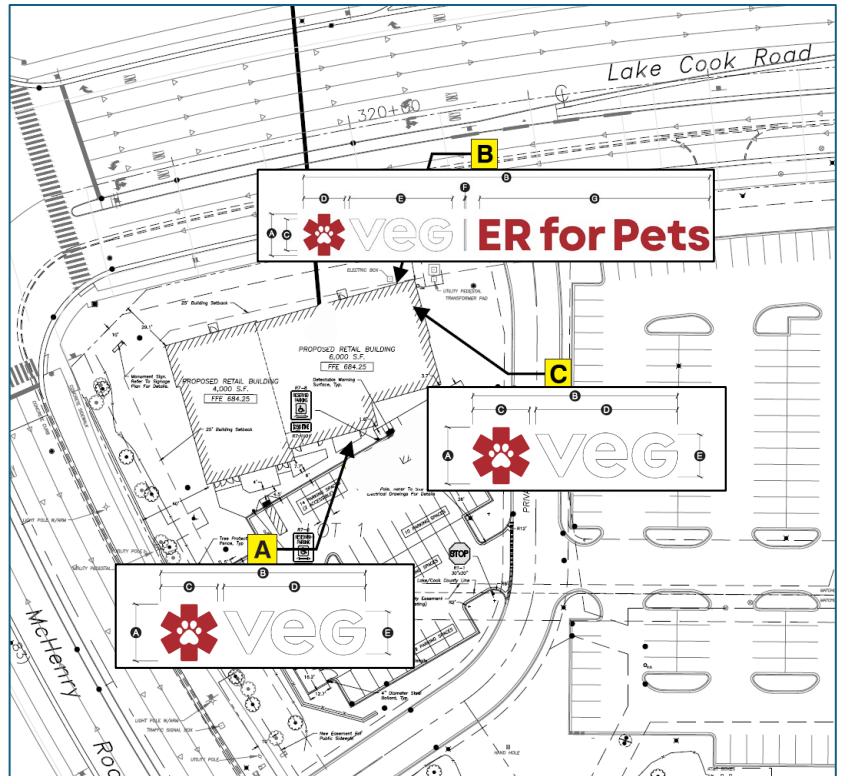


Figure 2: Proposed Signage

1. The Village's Sign Code allows only one wall sign to be installed along each frontage of a tenant space. In addition, a wall sign is also permitted over the main entrance to the building when the main entrance does not face a public right-of-way. A total of two signs are permitted on the VEG space; one on the north elevation facing Lake Cook Road and one on the south elevation over the main entrance to the unit. The Petitioner is requesting a variation for a third sign on the east elevation.
2. The Village's Sign Code allows signage to be placed only facing public rights-of-way (unless it is placed above a main entrance). The proposed east elevation sign does not face a public right-of-way, so a Sign Code variation is required.
3. The Village's Sign Code does not allow secondary signage to be larger in size than the sign over the main entrance. The wall sign on the east elevation will be larger than the wall sign over the main entrance along the south elevation, so a variation from the Sign Code is required.

The height, length and area of the proposed wall signs meet the Sign Code requirements. VEG also plans to install a new tenant panel sign and parking lot signage to align with their new corporate standards, all of which will comply with the Sign Code requirements.

Staff supports the sign variation requests due to the building's exposed location on all sides and the need for proper business identification for people traveling westbound on Lake Cook Road. Since the proposed sign package is similar to the previously approved sign package and meets all sign code requirements for height, length and area as shown in Figure 3, staff has no concerns. Furthermore, the signs' overall appearance complements and aligns with the building's design and aesthetic.

Elevation	Criteria	Total Height (ft)	Total Length (ft)	Square Footage	Number of Signs
North	Permitted	2.4	30.7	73.6	1
	Approved Per PUD	2.2	30	66.56	1
	Proposed	2.3	22.9	53.42	1
South	Permitted	4	30.7	122.8	1
	Approved Per PUD	2	2.8	11.33	1
	Proposed	2.8	9.9	27.2	1
East	Permitted	6.3	20	126	0
	Approved Per PUD	6	15	89.63	1
	Proposed	3.3	12	40*	1*
*Variations					

Figure 3: Permitted, Approved Per PUD, and Proposed Sign Table

Departmental Reviews

Village Department	Comments
Building	The Building Division has reviewed the plans and does not have any concerns.

Surrounding Property Owners

Pursuant to Village Code, the surrounding property owners within 350 feet were notified by mail, notice was published in the Daily Herald, and a public hearing sign was posted on the subject property. All notifications were completed within the prescribed timeframe as required. As of the date of this Staff Report, the Village has not received any comments or questions related to the project.

Standards

The Planning & Zoning Commission is authorized to make a recommendation to the Village Board on requested Planned Unit Developments/Amendments based upon the following criteria:

1. That the PUD has the minimum areas as set forth in [Section 17.16.060](#).
2. The uses permitted in such development are not of such a nature or so located as to exercise an undue detrimental influence or effect upon the surrounding neighborhood;
3. The plan effectively treats the developmental possibilities of the subject property, making appropriate provisions for the preservation of streams, wooded areas, scenic views, floodplain areas, and similar physical features;
4. All requirements pertaining to commercial, residential, institutional or other uses established in the planned unit development conform to the requirements for each individual classification as established elsewhere in this Title, except as may be specifically varied for the proper planning of the planned unit development;
5. The Planning and Zoning Commission shall determine that the area and width of the lot shall be sufficient for the proposed use, and that the development of the property in the proposed manner creates no outlots which will be difficult to develop in an appropriate manner.

Planned Unit Developments are also Special Uses, and therefore must meet the Special Use criteria as follows:

1. The special use will serve the public convenience at the location of the subject property; or the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
2. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with said special use, the size of the subject property in relation to such special use, and the location of the site with respect to streets giving access to it shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located;
3. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations with the neighborhood;
4. The nature, location and size of the buildings or structures involved with the establishment of the special use will not impede, substantially hinder or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;
5. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;
6. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance and minimize traffic congestion in the public streets.

The petitioner has provided written responses to both sets of standards, which are included in the attached packet.

Sign Variation Requests:

- A. Except for Prohibited signs (Chapter 14.32), the Village Planning & Zoning Commission may recommend approval or disapproval of a variance from the provisions or requirements of the Sign Code subject to the following:
 1. The literal interpretation and strict application of the provisions and requirements of this Title would cause undue and unnecessary hardships to the sign user because of unique or unusual conditions pertaining to the specific building, parcel or property in question; and
 2. The granting of the requested variance would not be materially detrimental to the property owners in the vicinity; and
 3. The unusual conditions applying to the specific property do not apply generally to other properties in the Village; and
 4. The granting of the variance will not be contrary to the purpose of this Title pursuant to Section 14.04.020
- B. Where there is insufficient evidence, in the opinion of the Planning & Zoning Commission, to support a finding under subsection (A), but some hardship does exist, the Planning & Zoning Commission may consider the requirement fulfilled if:
 1. The proposed signage is of particularly good design and in particularly good taste; and
 2. The entire site has been or will be particularly well landscaped.

The petitioner provided written responses to the variation standards in the attached packet.

STAFF RECOMMENDATION

Staff recommends approval of an amendment to the Planned Development and unified sign package approved by Ordinance No. 2022-092, as amended by Ordinance No. 2024-007, with Sign Variations for Veterinary Emergency Group (VEG) at 43 McHenry Road, subject to the conditions outlined in the PZC motion below.

ACTION REQUESTED

The Planning & Zoning Commission (PZC) shall open the public hearing and take public testimony concerning the request for an approval of an amendment to the Planned Development and unified sign package approved by Ordinance No. 2022-092, as amended by Ordinance No. 2024-007, with Sign Variations for Veterinary Emergency Group (VEG) at 43 McHenry Road. The PZC shall make a recommendation to the Village Board regarding the requested approvals.

Suggested PZC Motion

The PZC moves to make a positive recommendation to the Village Board to allow an amendment to the Planned Development and unified sign package approved by Ordinance No. 2022-092, as amended by Ordinance No. 2024-007, with Sign Variations for Veterinary Emergency Group (VEG) at 43 McHenry Road, subject to the following conditions:

- 1. The proposed signage shall be installed in substantial conformance with the plans and documents submitted as part of the plan set.*
- 2. Any directional or incidental signage added to the sign package shall be reviewed administratively by staff.*

ATTACHMENTS

- Narrative Description
- Signage Plan
- Response to PUD, Special Use, and Sign Variation Standards
- Ord. 2022-092 & 2024-007



KOSSMAN DEVELOPMENT COMPANY

DBA/ Sugarland PA Town, LLC

ELEVEN PARKWAY CENTER / SUITE 300 / PITTSBURGH, PA 15220

Phone: (412) 921-6100 Fax: (412) 921-0913

October 6, 2025

Village of Buffalo Grove
Community Development Department
50 Raupp Boulevard Buffalo Grove, IL 60089

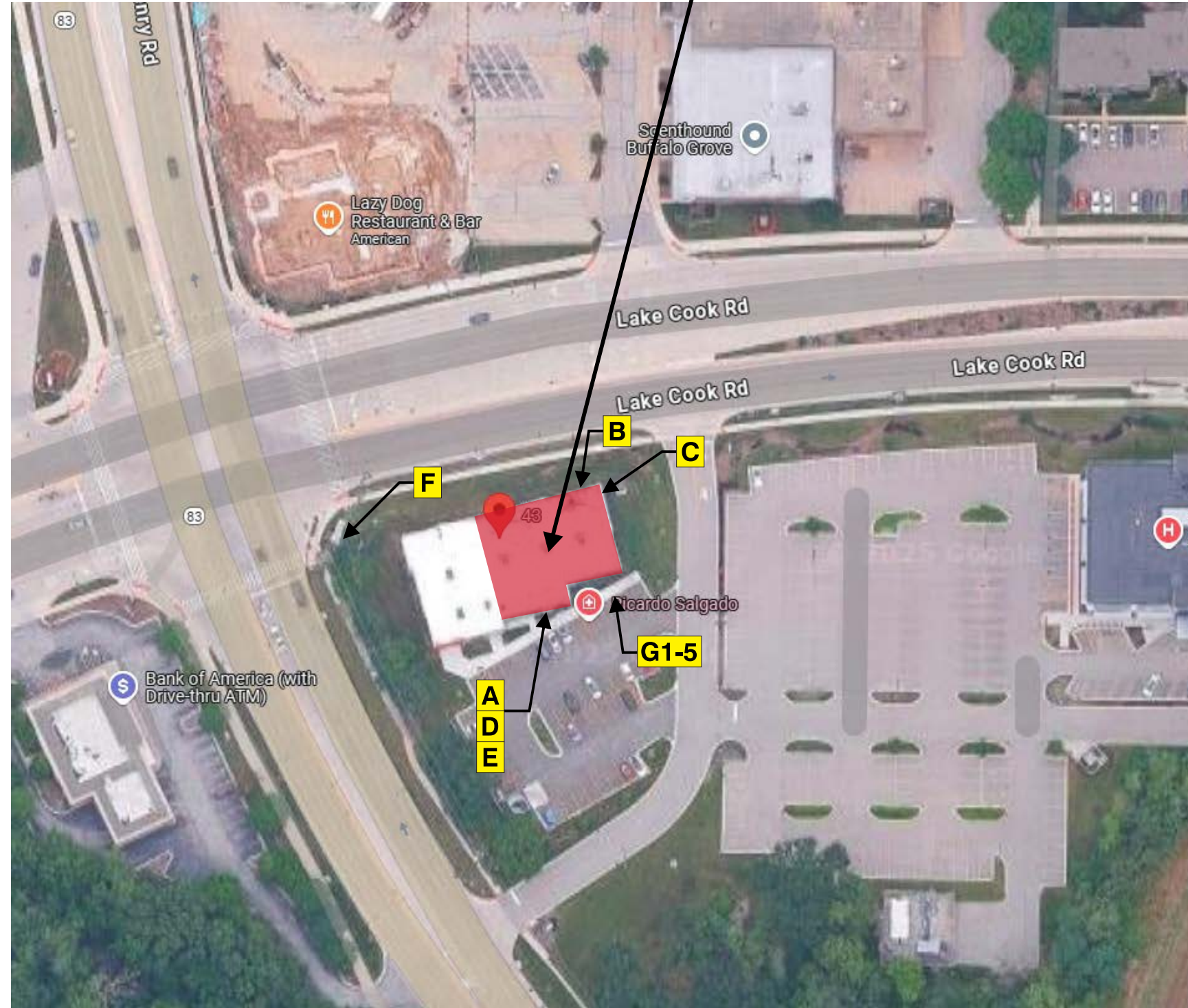
To whom it may concern,

This letter is being written in support of Veterinary Emergency Group, of whom I have had the pleasure of working in the capacity of landlord for several years now. As landlord we are providing support / a reference for the proposed need to change the signage currently in place at 43 McHenry Road Buffalo Grove, IL 60089. Clear and concise signage is imperative within their industry for those in need of their services. This signage change will be beneficial to the VEG, as well as the community it serves.

I am more than happy to answer any additional questions or concerns you may have. I can be reached via

Sincerely,

Todd Earley
Senior Property Manager
Kossman Development Company



Sales:	Lisa Koebel
PM:	Sam Rushing
Art:	DJT 7.8.25
Drwg #:	238801-1-6



Existing



Proposed
Signs rendered proportional to the photo

***All measurements to be field verified prior to manufacturing**

Sales:	Lisa Koebel
PM:	Sam Rushing
Art:	DJT 7.23.25
Drwg #:	238801-1-6



Existing



Proposed
Signs rendered proportional to the photo

B

Sales:	Lisa Koebel
PM:	Sam Rushing
Art:	DJT 7.23.25
Drwg #:	238801-1-6

***All measurements to be field verified prior to manufacturing**



Existing

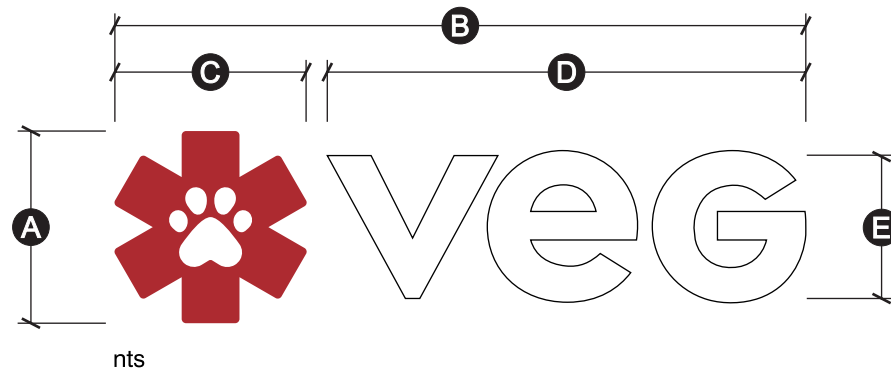


Proposed
Signs rendered proportional to the photo

Sales:	Lisa Koebel
PM:	Sam Rushing
Art:	IRM 8.7.25
Drwg #:	238801-1-6

C

***All measurements to be field verified prior to manufacturing**

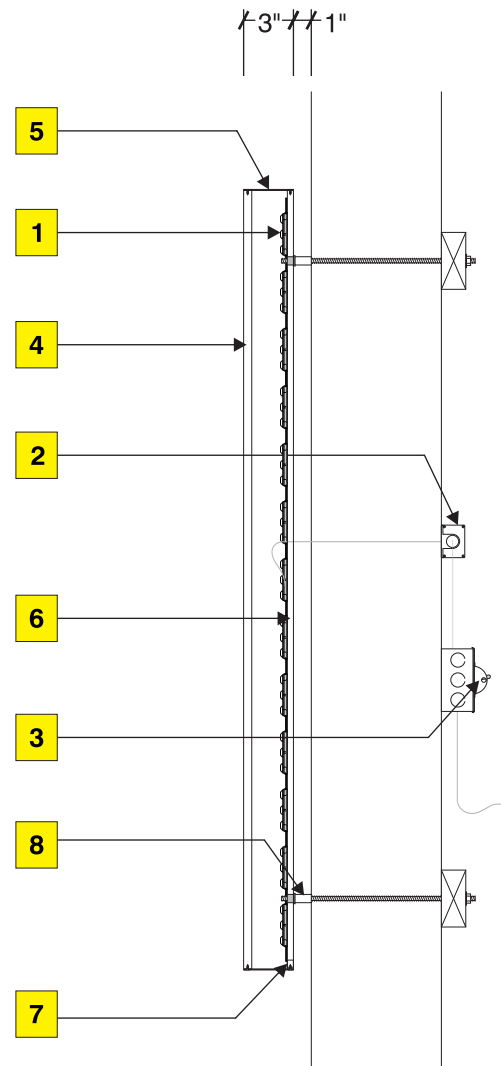


Paw to be centered horizontally & vertically on star logo

- A** Measured from overall height of the logo
- E** Measured from overall height of the letter "V"

A	B	C	D	E	A x B = SQ FT
33"	9'- 10 3/4"	2'- 9"	6'- 10 1/4"	24 1/2"	27.21

Sign Code: NTE ~140SF or 33% of store frontage.



Illumination

- 1** 7100K White LEDs.
- 2** 60W power supplies.
- 3** UL Listed disconnect switch.

Faces

- 4** 1/2" clear acrylic faces with 1/16" lip.
Logo: to have reverse weeded 3M 3630-73 Dark Red vinyl.
"VEG": to be white vinyl.
All vinyl to be applied first surface w/ white diffuser vinyl applied 2nd surface.

Returns

- 5** 3" x .063 Aluminum returns painted black attached to faces & backs with countersunk screws.

Backs

- 6** .375" polycarbonate backs w/ white diffuser vinyl applied 2nd surface.

- 7** Each letter to have two (2) 1/4" weep holes.

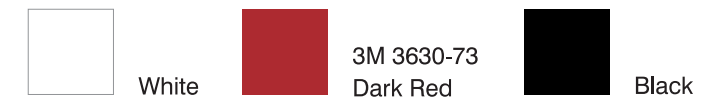
Mounting

- 8** 1" Spacers & hardware painted to match fascia.

Mounting

<p>Wedge anchors For use in masonry applications.</p>	<p>Lag screw Wood lags for solid wood backing. Concrete lags for solid masonry applications. Only when specified by NAS.</p>
<p>Thru-Bolt w/ (Preferred) Hollow walls w/ rear access. Backing- U-Channel, angle iron or wood.</p>	<p>Toggle bolt For use in hollow walls w/ suitable wall materials.</p>
<p>Stud mounted</p>	

Colors to match



• Spacers need to be 2" from visibility (where applicable).

• All labels, ie, ul, sign id & permit to be placed at top of letters out of public view.

• Painted components must have two coats of acrylic polyurethane paint w/ no visible weld points.

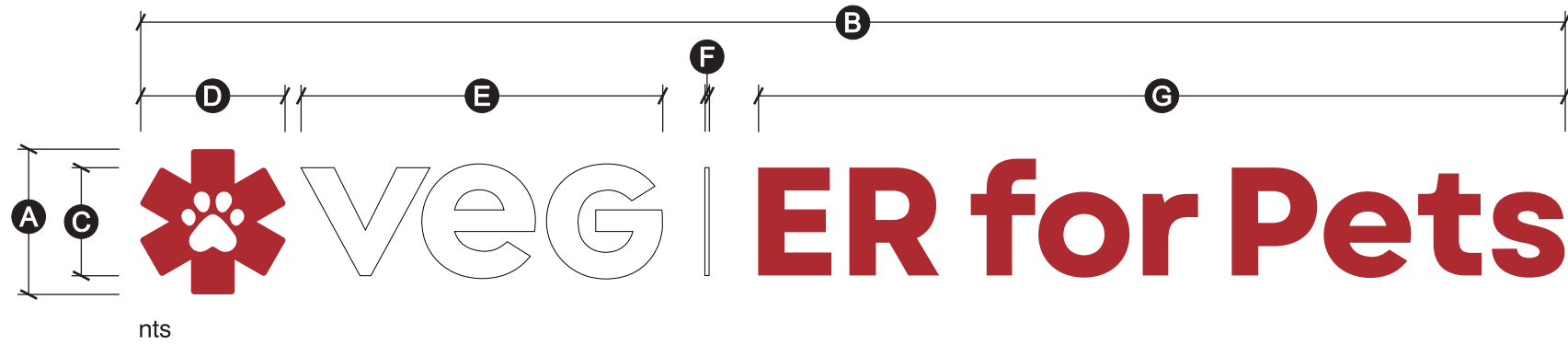
Sales:	Lisa Koebel
PM:	Sam Rushing
Art:	DJT 7.23.25
Drwg #:	238801-1-6

Channel Letters

nts

It is the clients responsibility to provide 120V primary electrical service (including ground wiring directly from panel box) within six(6) feet of signage. Installation to meet N.E.C. code.





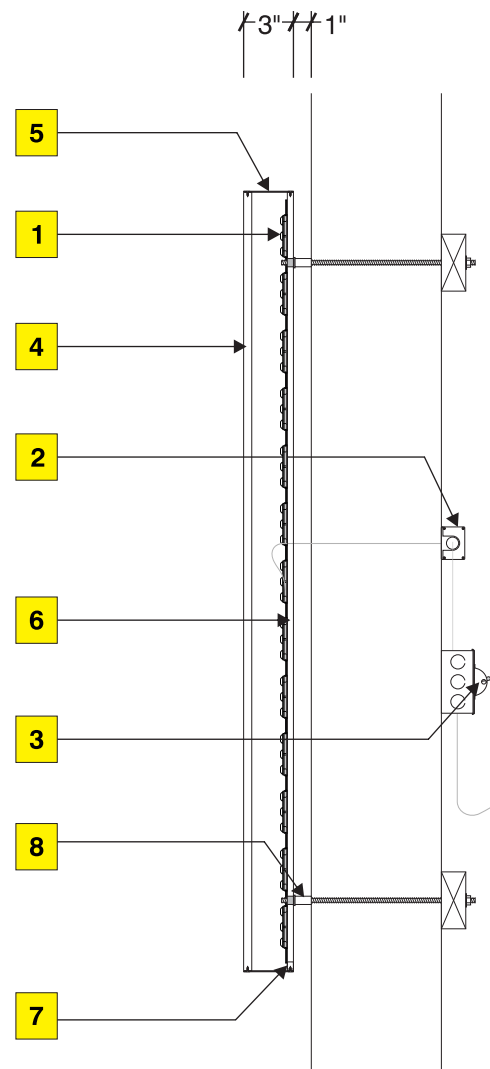
Paw to be centered horizontally & vertically on star logo

- A** Measured from overall height of the logo
- C** Measured from overall height of the letter "V"

A	B	C	D	E	F	G	A x B = SQ FT
28"	22'- 10 3/4"	20 7/8"	2'- 4"	5'- 9 3/4"	1 1/2"	12'- 11 5/8"	53.42

F *Lettersets where divider line scales below 1 1/2" will need to be adjusted for manufacturing.

Sign Code: NTE ~140SF or 33% of store frontage.



Illumination

- 1** 7100K White LEDs.
- 2** 60W power supplies.
- 3** UL Listed disconnect switch.

Faces

- 4** 1/2" clear acrylic faces with 1/16" lip.
Logo: to have reverse weeded 3M 3630-73 Dark Red vinyl.
"ER for Pets": to be 3M 3630-73 Dark Red vinyl.
"VEG" & divider line: to be white vinyl.
All vinyl to be applied first surface w/ white diffuser vinyl applied 2nd surface.

Returns

- 5** 3" x .063 Aluminum returns painted black attached to faces & backs with countersunk screws.

Backs

- 6** .375" polycarbonate backs w/ white diffuser vinyl applied 2nd surface.

- 7** Each letter to have two (2) 1/4" weep holes.

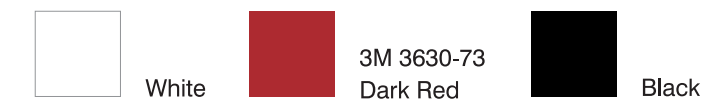
Mounting

- 8** 1" Spacers & hardware painted to match fascia.

Mounting

<input type="checkbox"/>	 Wedge anchors For use in masonry applications.	<input type="checkbox"/>	 Lag screw Wood lags for solid wood backing. Concrete lags for solid masonry applications. Only when specified by NAS.
<input type="checkbox"/>	 Thru-Bolt w/ (Preferred) Hollow walls w/ rear access. Backing- U-Channel, angle iron or wood.	<input type="checkbox"/>	 Toggle bolt For use in hollow walls w/ suitable wall materials.
<input type="checkbox"/>	 STUD MOUNTED	<input checked="" type="checkbox"/>	 Spacer Painted to match facade. Length: <u>1"</u>

Colors to match



• Spacers need to be 2" from visibility (where applicable).

• All labels, ie, ul, sign id & permit to be placed at top of letters out of public view.

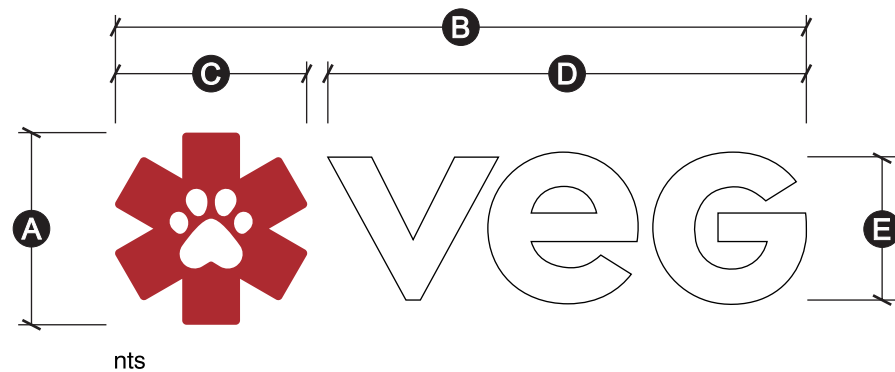
• Painted components must have two coats of acrylic polyurethane paint w/ no visible weld points.

Sales:	Lisa Koebel
PM:	Sam Rushing
Art:	DJT 7.23.25
Drwg #:	238801-1-6

Channel Letters
nts

It is the clients responsibility to provide 120V primary electrical service (including ground wiring directly from panel box) within six(6) feet of signage. Installation to meet N.E.C. code.



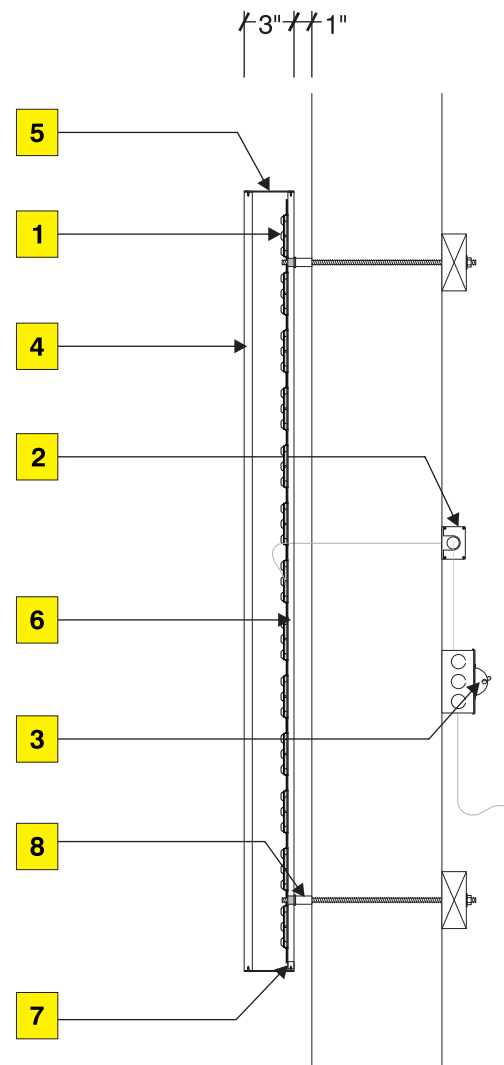


Paw to be centered horizontally & vertically on star logo

- A** Measured from overall height of the logo
- E** Measured from overall height of the letter "V"

A	B	C	D	E	A x B = SQ FT
40"	12'- 0"	3'- 4"	8'- 3 5/8"	29 3/4"	40.00

Sign Code: NTE ~140SF or 33% of store frontage.



Illumination

- 1** 7100K White LEDs.
- 2** 60W power supplies.
- 3** UL Listed disconnect switch.

Faces

- 4** 1/2" clear acrylic faces with 1/16" lip.
Logo: to have reverse weeded 3M 3630-73 Dark Red vinyl.
"VEG": to be white vinyl.
All vinyl to be applied first surface w/ white diffuser vinyl applied 2nd surface.

Returns

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Backs

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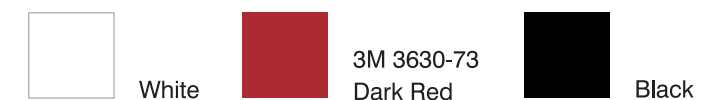
Mounting

- 8** 1" Spacers & hardware painted to match fascia.

Mounting

<p>Wedge anchors For use in masonry applications.</p>	<p>Lag screw Wood lags for solid wood backing. Concrete lags for solid masonry applications. Only when specified by NAS.</p>
<p>Thru-Bolt w/ (Preferred) Hollow walls w/ rear access. Backing- U-Channel, angle iron or wood.</p>	<p>Toggle bolt For use in hollow walls w/ suitable wall materials.</p>
<p>Stud mounted</p>	

Colors to match



• Spacers need to be 2" from visibility (where applicable).

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Sales:	Lisa Koebel
PM:	Sam Rushing
Art:	IRM 8.7.25
Drwg #:	238801-1-6

Channel Letters

nts

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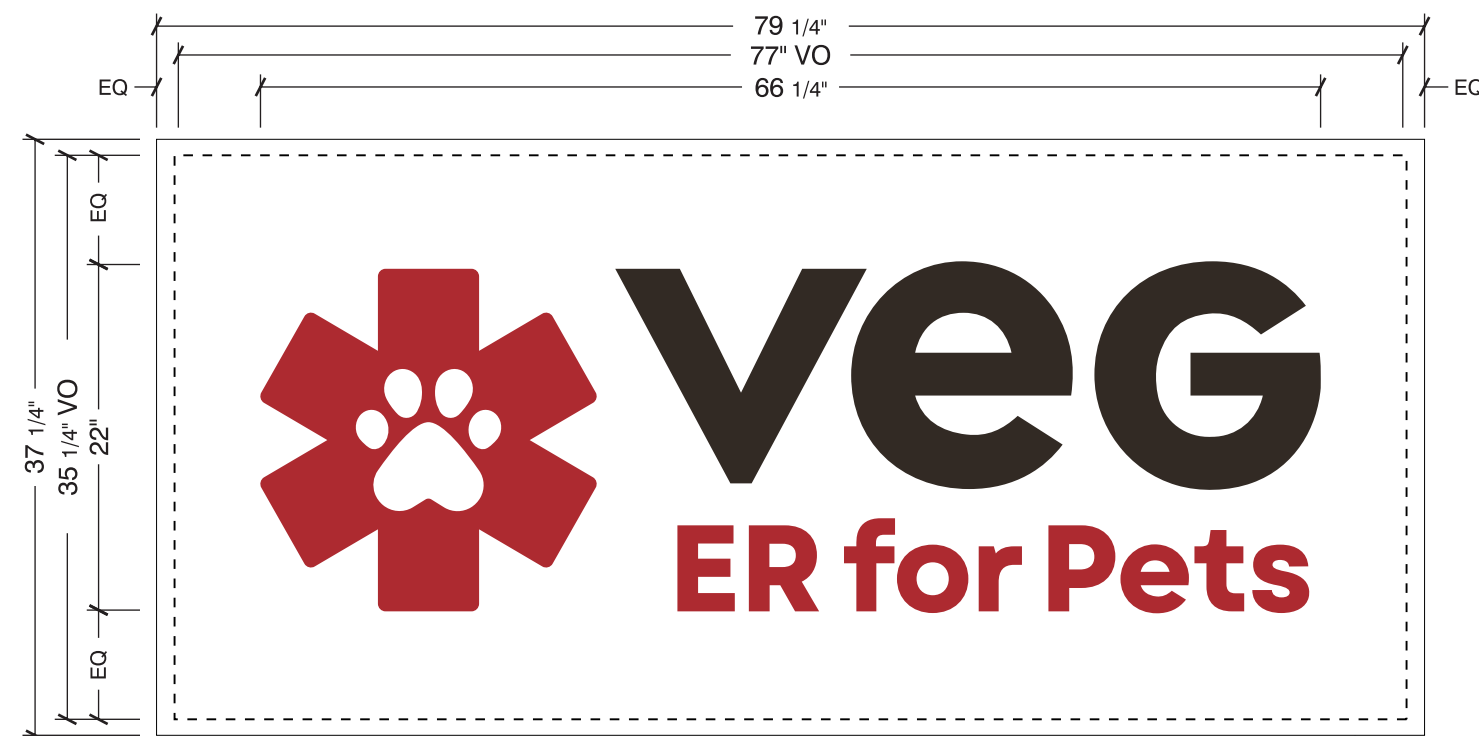




Existing



Proposed
Sign rendered proportional to the photo



Scale: 1" = 1'-0"

Panels

1 White polycarbonate with 3M 3630-73 Dark Red & black vinyl applied first surface. Logo to be reverse weeded.

Paw to be centered horizontally & vertically on star logo

Colors to match

	3M 3630-73 Dark Red		Black		White
---	------------------------	---	-------	---	-------

Sales:	Lisa Koebel
PM:	Sam Rushing
Art:	DJT 7.8.25
Drwg #:	238801-1-6



Existing



Proposed
Sign rendered proportional to the photo



Scale: 3" = 1'- 0"

Sign

- 1** .080 aluminum panel painted white w/ vinyl applied first surface.

Exact mounting TBD.

Note:
Paw to be centered horizontally & vertically on star logo.

Colors to match



Sales:	Lisa Koebel
PM:	Sam Rushing
Art:	TJU 7.11.25
Drwg #:	238801-1-6

Community Development Department

50 Raupp Boulevard, Buffalo Grove, IL 60089

Phone: 847-459-2530 | www.vbg.org

Planned Unit Development (PUD) Standards

In addition to the special use standards, all planned unit developments shall meet the following (5) general standards:

1. Have the minimum areas as set forth in [Section 17.16.060](#).

Response:

The request to amend the PUD for signage will have little to no effect on the development. This development meets these standards.

2. The uses permitted in such development are not of such a nature or so located as to exercise an undue detrimental influence or effect upon the surrounding neighborhood;

Response:

The use permitted in this development will not change due to this request for a sign variation. This development meets these standards.

3. The plan effectively treats the developmental possibilities of the subject property, making appropriate provisions for the preservation of streams, wooded areas, scenic views, floodplain areas, and similar physical features;

Response:

The request for a sign variation will not affect these issues. This development meets these standards.

4. All requirements pertaining to commercial, residential, institutional or other uses established in the planned unit development conform to the requirements for each individual classification as established elsewhere in this Title, except as may be specifically varied for the proper planning of the planned unit development;

Response:

The request for a sign variation will not affect the uses for this development. This development meets these standards.

5. The Planning and Zoning Commission shall determine that the area and width of the lot shall be sufficient for the proposed use, and that the development of the property in the proposed manner creates no outlots which will be difficult to develop in an appropriate manner.

Response:

The request for a sign variation will not affect the lot dimensions in any way. This development meets these standards.



Community Development Department

50 Raupp Boulevard, Buffalo Grove, IL 60089

Phone: 847-459-2530 | www.vbg.org

Special Use Standards

During the Public Hearing, you will need to present your case for the Special Use being requested. In doing so, please address the six (6) Special Use Standards listed below:

1. The special use will serve the public convenience at the location of the subject property; or the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

Response:

The east elevation sign provides clear visibility for vehicles and pedestrians approaching from McHenry Road and adjacent drive aisles. Allowing this sign to remain enhances wayfinding, improves customer navigation, and supports the continued viability of the tenant spaces. Its presence serves the public convenience and does not endanger public health, safety, comfort, or general welfare.

2. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with said special use, the size of the subject property in relation to such special use, and the location of the site with respect to streets giving access to it shall be such that it will be in harmony with the appropriate, orderly development of the district in which it is located;

Response:

The location and size of the east elevation sign are consistent with the building's overall design and are proportionate to the tenant frontage. This elevation faces a public area and functions as a visible point of identification for passing traffic, making the sign both logical and appropriate. Its continued presence aligns with the established commercial character of the district and complements the orderly development of the area.

3. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject property for the purposes already permitted in such zoning district, nor substantially diminish and impair other property valuations with the neighborhood;

Response:

Retaining the east elevation sign will not negatively impact surrounding property values. On the contrary, clear and well-placed signage contributes to a vibrant and functional commercial corridor, which supports surrounding

property values and the enjoyment of neighboring uses. The sign is modest in scale and integrated into the building architecture, ensuring no adverse visual impact on nearby properties.

4. The nature, location and size of the buildings or structures involved with the establishment of the special use will not impede, substantially hinder or discourage the development and use of adjacent land and buildings in accord with the zoning district within which they lie;

Response:

The existing sign has been in place without hindering the development or use of adjacent properties. Its continued presence will not impede, substantially hinder, or discourage adjacent development. The sign is mounted flush to the building and does not encroach upon neighboring parcels or create physical obstructions.

5. Adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided;

Response:

All necessary utilities, access roads, drainage, and related infrastructure are already in place and adequate for the site. The retention of the east elevation wall sign does not alter or impact any of these systems.

6. Parking areas shall be of adequate size for the particular special use, which areas shall be properly located and suitably screened from adjoining residential uses, and the entrance and exit driveways to and from these parking areas shall be designed so as to prevent traffic hazards, eliminate nuisance and minimize traffic congestion in the public streets.

Response:

The east elevation sign improves site navigation by making tenant spaces easier to identify from multiple approach points, including vehicles entering from McHenry Road. This clarity helps reduce confusion and sudden traffic movements, thereby supporting safe and efficient traffic flow. The sign does not require additional parking or affect existing traffic patterns.

Community Development Department

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Sign Variation Standards

During your testimony at the Public Hearing you need to testify and present your case for the variance by addressing the six (6) standards listed below:

The Planning & Zoning Commission is authorized to grant variations to the regulations of the Sign Code (Chapter 14.40) based upon findings of fact which are made based upon evidence presented at the hearing that:

1. The literal interpretation and strict application of the provisions and requirements of this Title would cause undue and unnecessary hardships to the sign user because of unique or unusual conditions pertaining to the specific building, parcel or property in question; and

Response:

The literal interpretation and strict application of the provisions and requirements of the Title would cause undue and unnecessary hardships to the sign user because the sign on the East elevation acts as a wayfinding element when motorists are maneuvering to the appropriate parking areas for Veterinary Emergency Group. When entering the property from Lake Cook Road, motorists will need to make multiple turns in order to reach the parking areas, and this branding element makes for a smooth transfer of information while allowing motorists to remain focused on the road in front of them and the parking areas that can be occupied with foot traffic and cars backing out of parking spaces.

2. The granting of the requested variance would not be materially detrimental to the property owners in the vicinity; and

Response:

The granting of the requested PUD Amendment would not be materially detrimental to the property owners in the vicinity, in fact, it will help motorists identify the surrounding businesses in a more efficient manner so there will be more efficient travel through this corridor.

3. The unusual conditions applying to the specific property do not apply generally to other properties in the Village; and

Response:

The unusual conditions applying to this specific property do not generally apply to other properties in the Village and this property lends itself to having a wayfinding element on the East elevation to differentiate itself from other properties within the direct vicinity of the parking areas for several surrounding businesses.

4. The granting of the variance will not be contrary to the purpose of this Title pursuant to Section 14.04.020.

Response:

The granting of the PUD Amendment will not be contrary to the purpose of this Title pursuant to Section 14.04.020 because the proposed wayfinding element on the East elevation promotes business identification, efficient advertising and communication, and elevates aesthetic values within the corridor, while minimizing visual clutter as each sign faces a different right-of-way. This wayfinding element also promotes public safety by providing a smooth transfer of information in order to allow for motorists to maintain their primary focus of navigating their vehicle through the heavily trafficked commercial corridor.

B. Where there is insufficient evidence, in the opinion of the Planning & Zoning Commission, to support a finding under subsection (A), but some hardship does exist, the Planning & Zoning Commission may consider the requirement fulfilled if:

1. The proposed signage is of particularly good design and in particularly good taste; and

Response:

The proposed signage reflects VEG ER for Pets trademarked branding standard and is designed in good taste.

2. The entire site has been or will be particularly well landscaped.

Response:

The entire site will be well landscaped.





AGENDA ITEM SUMMARY

PLANNING AND ZONING COMMISSION

Regular Meeting: December 3, 2025

AGENDA ITEM 3.B.1.

Draft Minutes from the November 19, 2025 Planning and Zoning Commission Meeting

Contacts

Liaison: Trustee Ottenheimer

Staff: Kelly Purvis

Staff Recommendation

Staff recommends approval.

Recommended Motion

The PZC moves to approve the minutes from the November 17, 2025 Planning and Zoning Commission meeting.

Summary

None

File Attachments

1. 25-1119 - PZC Minutes



**MINUTES OF THE REGULAR MEETING OF THE PLANNING AND ZONING COMMISSION HELD
AT JEFFREY S. BRAIMAN COUNCIL CHAMBERS
FIFTY RAUPP BLVD, BUFFALO GROVE, IL 60089, WEDNESDAY, NOVEMBER 19, 2025**

[IGNORE_INDENT]

CALL TO ORDER

Chairperson Weinstein called the meeting to order at 7:30 PM.

Roll call indicated the following were present: PZC Chairperson Weinstein, PZC Commissioner Au, PZC Commissioner Moodhe, PZC Commissioner Worlikar, PZC Commissioner Spunt, PZC Commissioner Davis, PZC Commissioner Saxena, PZC Commissioner Gregory.

Also present were: Trustee Liaison Bocek, Village Attorney Patric Brankin, Deputy Director of Community Development Kelly Purvis, Associate Planner Andrew Binder, Village Engineer Briget Schwab, and Civil Engineer Daniel Hoscilo.

PUBLIC HEARINGS/ITEMS FOR CONSIDERATION

A. Consideration of an amendment to the Special Use and Preliminary Plan under Ordinance No. 2018-002, as amended by Ord. 2024-058, to allow an 8-stall parking lot expansion at Buffalo Grove High School at 1100 W Dundee Road

Associate Planner Binder provided a brief overview of the project noting staff's support for the amendment to the Special Use and Preliminary Plan.

Don Andrews of Gawalt Hamilton and Andrew Phelps of STR Partners, LLC were sworn in on behalf of D214.

Phelps mentioned that area that is going to be used for parking was previously used for staging during construction and was heavily disturbed.

Andrews also mentioned that stormwater management facilities were upgraded as part of phase one and two of development on the site, and that the new limited amount of impervious surfaces added for the parking lot expansion would not have a negative impact.

Chairperson Weinstein asked for confirmation on the overall number of parking stalls.

Phelps confirmed.

Chairperson Weinstein asked about a note in the staff report referring to the fence code.

Binder indicated that it was an error in the report.

Com. Moodhe asked if the space might be needed for equipment storage.

Phelps indicated that he did not think it would be needed again.

Com. Moodhe asked if the turn angle could be reduced.

Andrews noted that the road itself is not being altered and that the alterations are limited to the parking lot itself. He noted they could take a look at the angle.

Com. Worlikar noted that there is landscaping along the west side of the lot and asked about plans to refresh the overall parking lot. He further indicated that signage could be better.

Andrews indicated that the turn in is not ideal, but as with most things they are trying to be efficient with the space and parking. They don't have plans at this time to revisit doing the whole parking lot.

Com Au asked for clarification regarding the amount of space being removed for only 8 parking spaces.

Andrews noted that the area was already being disturbed and that they felt that the 8 spaces would be worthwhile.

The Village Staff report was entered as Exhibit 1.

The public hearing was closed.

Com. Davis moved to make a positive recommendation to the Village Board to allow an amendment to the Special Use and Preliminary Plan under Ordinance No. 2018-002, as amended by Ord. 2024-058, to allow an 8-stall parking lot expansion at Buffalo Grove High School at 1100 W Dundee Road, subject to the following conditions:

1. The proposed development shall be constructed in substantial conformance with the plans attached and in accordance with Section 16.20.070 of the Development Ordinance.
2. Final Engineering plans shall be revised in a manner acceptable to the Village.
3. Any directional or incidental signage added to the sign package shall be reviewed administratively by staff.
4. The landscaping on the site shall be maintained in compliance with the approved landscape plan in perpetuity.

Seconded by Com. Moodhe

Com. Moodhe noted that the angle of the parking stalls pretty much means nothing to the students; they generally park how they want. He also noted that parking is needed at the school, however small the amount. He noted he is in support of the project.

Com. Worlikar noted that he is in favor of the project but unenthusiastic as he thinks that the signage, and circulation could be better.

Moved by Jason Davis, seconded by Adam Moodhe to recommend approval. Upon roll call, Commissioners voted as follows:

AYES: 8 Mitchell Weinstein, Amy Au, Adam Moodhe, Neil Worlikar, Marc Spunt, Jason Davis, Sujat Saxena, Chad Gregory

NAYS: 0 None

ABSENT: 1 Don Schwartz

Motion declared Passed.

B. Consideration of an Amendment to the Planned Development and Preliminary Plan approved by Ordinance No. 1998-077, and a Special Use for a drive-through facility, as well as parking and sign variations for Dutch Bros. Coffee at 80 McHenry Road

Com. Moodhe noted that he has direct business contact with Dutch Bros. Coffee and that he would be recusing himself from the discussion related to this item. He stepped out of the Council Chambers for this discussion.

Associate Planner Binder provided a brief overview of the project noting staff's support for the amendment to the PUD and Preliminary Plan with a Special Use for a drive through, zoning and sign variations.

Ben Siembida of Bohler Engineering, and Elizabeth Kivland with Chipman Design were sworn in on behalf of Dutch Bros Coffee.

Siembida complemented Binder's presentation noting that he did a nice job of covering the requests. He indicated that Village staff were in support of the plan and indicated they are here to answer any questions.

Com. Worlikar asked about the sign variations as they relate to their corporate standards.

Kivland indicated that they are trying to maximize signage and that the standard for Dutch Bros is to have the two signs on each elevation.

Com. Worlikar asked about the brightness of the signs.

Binder indicated that we don't have anything in our code that limits the brightness of signs.

Com. Gregory asked about the second drive through.

Siembida noted that Dutch Bros has a robust ordering system and walked through the layout of the drive through and by-pass lane.

Com. Au asked if there is more signage on this building for Dutch Bros or for the

prior Burger King.

Binder pulled up an image and walked through the signage on the Burger King, noting that there was a similar amount.

Com. Spunt asked about the interior improvements.

Kivland provided an overview of the improvements noting that there will be interior seating in this model.

Com. Spunt asked for clarification regarding the double drive through.

Siembida noted that the by-pass lane would allow people to get out of the drive through once they have their orders.

Chairperson Weinstein asked if there were any variances being requested that are not consistent with their corporate standards.

Kivland noted that is correct.

Chairperson Weinstein asked if they have adjusted their corporate standards to adhere to other communities' sign codes.

Kivland indicated that they have, and that they have also requested variations from some.

Com. Gregory asked about other plans to open additional Dutch Bros in Illinois.

Kivland confirmed that they will.

The Village Staff report was entered as Exhibit 1.

The public hearing was closed.

Com. Davis made a motion to make a positive recommendation to the Village Board to allow an amendment to the Planned Development and Preliminary Plan approved by Ordinance No. 1998-077, for a Special Use for a drive-through facility, as well as Parking, and Sign Variations for Dutch Bros. Coffee at 80 McHenry Road, subject to the following conditions:

1. The proposed development shall be constructed in substantial conformance with the plans attached and in accordance with Section 16.20.070 of the Development Ordinance.
2. Final Engineering plans shall be revised in a manner acceptable to the Village.
3. Any directional or incidental signage added to the sign package shall be reviewed administratively by staff.

4. The landscaping on the site shall be maintained in compliance with the approved landscape plan in perpetuity.

Seconded by Com. Worlikar

Com. Davis spoke in favor of the development. He noted that there can be long lines, so he appreciated that they are adding a double drive through.

Com. Gregory noted that this is a best case scenario for the area. He indicated that he doesn't typically want to see drive throughs for the Clove but this use is good for the space.

Chairperson Weinstien spoke in favor of the motion, noting that while there are a lot of sign variations being requested, the location and size of the signs are not over the top.

Moved by Jason Davis, seconded by Neil Worlikar to recommend approval. Upon roll call, Commissioners voted as follows:

AYES: 7 Mitchell Weinstein, Amy Au, Neil Worlikar, Marc Spunt, Jason Davis, Sujat Saxena, Chad Gregory

NAYS: 0 None

ABSENT: 1 Don Schwartz

Motion declared Passed.

C. Consideration of approval of a Special Use for outdoor storage in the Industrial District at 1051 Commerce Ct.

Associate Planner Binder provided a brief overview of the project, noting staff's support for the Special Use for outside storage on the property.

Neil Sander of Independence Engineering was sworn in on behalf of Heritage Pool Supply.

Sander indicated that this is a simple application as they are not proposing any site changes.

He acknowledged that this is a special use and noted that he believes that they meet the special use criteria.

Sander further noted that they have been in touch with the Village of Lake Zurich about the placement of outside storage in relation to the easement on the property.

Com. Saxena asked about Lake Zurich's position related to the outside storage.

Attorney Brankin responded that these kinds of requests for agreements are common as it relates to property and easement rights.

Com. Au asked how the prior business was able to store items outside and if they

had permission from Lake Zurich.

Binder responded that he could not find record of a special use for outside storage for the prior business.

Com. Moodhe asked how often the easement would need to be accessed.

Schwab indicated that the sanitary sewer has had issues and that the Village is working to reline it. She noted that a portion of it collapsed in another location, so it is important that the Village be able to access the line in an emergency.

Com. Moodhe asked about who would be likely to be the first to respond in an emergency.

Schwab noted it would likely be the Village of Buffalo Grove.

Chairperson Weinstein asked the petitioner to confirm that the outside storage would not exceed the 8-foot height of the surrounding fence.

Sander confirmed that the storage would not exceed the fence height.

The Village Staff report was entered as Exhibit 1.

The public hearing was closed.

Com. Davis made a motion to make a positive recommendation to the Village Board to allow a Special Use in the Industrial District (I) for outdoor storage at 1051 Commerce Court, subject to the following conditions:

1. The outdoor storage for Heritage Pool Supply, Inc. shall be operated in substantial compliance with the business description and plans provided as part of this petition.
2. The Special Use is granted to Heritage Pool Supply, Inc. to allow outdoor storage at 1051 Commerce Court, which shall not run with the land.
3. The Special Use for outside storage granted to Heritage Pool Supply, Inc. is assignable to subsequent petitioners seeking assignment of this Special Use as follows:
 - a. Upon application of a petitioner seeking assignment of this Special Use, the Corporate Authorities, in their sole discretion, may refer said application of assignment to the appropriate commission(s) for a public hearing or may hold a public hearing at the Village Board.
 - b. Such assignment shall be valid only upon the adoption of a proper, valid and binding ordinance by the Corporate Authorities granting said assignment, which may be granted or denied for any reason.
4. The outdoor storage will be located within the enclosed area south of the building, the exact location of which will require coordination with Lake Zurich. The final location will be approved by the Village of Buffalo Grove prior to issuance of a racking permit for the outside storage.

5. An access easement agreement shall be made between the petitioner/property owner and the Village of Lake Zurich prior to the issuance of a racking permit for the outside storage.
6. Any incidental or directional signage for the site will be reviewed and administratively approved by Village staff.
7. The fence and parking lot screening shall be maintained by the property owner or tenant in perpetuity.

Seconded by Com. Gregory.

Com. Worlikar noted he is in favor and that he is appreciative that the pool chemicals would be stored inside rather than outside.

Chairperson Weinstein commented on the standards being addressed by the petitioner.

Moved by Jason Davis, seconded by Chad Gregory to recommend approval. Upon roll call, Commissioners voted as follows:

AYES: 8 Mitchell Weinstein, Amy Au, Adam Moodhe, Neil Worlikar, Marc Spunt, Jason Davis, Sujat Saxena, Chad Gregory

NAYS: 0 None

ABSENT: 1 Don Schwartz

Motion declared Passed.

REGULAR MEETING

A. Other Matters for Discussion

B. Approval of Minutes

1. October 22, 2025 - Draft Planning and Zoning Commission Meeting

Moved by Adam Moodhe, seconded by Marc Spunt to approve. Upon roll call, Commissioners voted as follows:

AYES: 6 Mitchell Weinstein, Amy Au, Adam Moodhe, Marc Spunt, Jason Davis, Chad Gregory

NAYS: 0 None

ABSENT: 1 Don Schwartz

Motion declared Passed.

C. Chairperson's Report

None

D. Committee and Liaison Reports

Com. Moodhe indicated that the Village Board approved the annexation and entitlements for the Prairie View Towns project presented by Pulte Homes at the 11/3/25 Village Board meeting.

E. Staff Report/Future Agenda Schedule

Deputy Director Purvis noted that there will be 2 cases coming before the Commission on December 3rd and likely 2 cases on December 17th. She noted two additional staff members were at the staff table for the evening.

Village Engineer Schwab introduced the Village's newest addition to the Engineering Division, Daniel Hoscilo.

F. Public Comments and Questions

All comments will be limited to 5 minutes and should be limited to concerns or comments regarding issues that are relevant to Planning and Zoning Commission business and not on the regular agenda for discussion.

ADJOURNMENT

The meeting was adjourned at 8:37pm.